



The Property Inspectors

Residential Pre-Purchase Building Inspection Report

Complies with Australian Standard AS 4349.1-2007
Inspection of Buildings Part 1: Pre-Purchase
Inspections Residential Buildings - Appendix C



Client: Nicole Robb

Property Address: 16 Second Avenue Willoughby

Date of inspection: 17/05/2017



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Results of Building Inspection - Summary

A Summary of the inspection is below:

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	

Please refer to the report for explanations.

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is Above Average.

Results of Pest Inspection - Summary

Were active subterranean termites (live specimens) found?	No - Read the Report in Full
Was visible evidence of subterranean termite workings or damage found?	No - Read the Report in Full
Was visible evidence of borers of seasoned timber found?	No - Read the Report in Full
Was evidence of damage caused by wood decay (rot) fungi found?	Yes - Read the Report in Full
Are further inspections recommended?	Yes - Read the Report in Full
Were any major safety hazards identified?	Yes - Read the Report in Full
At the time of the inspection, the DEGREE OF RISK of subterranean termite infestation was considered to be	Medium

Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered:

Low

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered:

Low

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

Above Average

Overall Condition Comments:

This house is in good to very good condition for its age

Structurally, there are no issues to report on, there are minor cracks / issues within the house typical for a lime mortar brick home and sandstone block foundation property within this location of Sydney

There are no safety issues that need to be urgently addressed, the side stairs should have a grab rail and additional smoke alarms should be installed

I see this home as a low risk purchase for any party wishing to acquire this property subject to the conditions noted within this report

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

Part 1: Purpose and Scope of Inspection

This report complies with Australian Standard AS4349.1 - 2007 Inspection of Buildings, Part 1: Pre Purchase Inspections - Residential Buildings.

Inspection Agreement - Individual title property

Requirement for Inspection agreement AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

Purpose of Inspection

The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

Important Information and Disclaimer

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Pre-Purchase Building Inspection Report, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion and risk of doing physical damage to the property being inspected. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection. This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future. This report does not include the identification of unauthorised building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent. It is not intended to detail each and every individual minor defect or imperfection. This service is provided on an independent professional basis. It seeks to present a factual, unbiased and balanced assessment. We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

Scope of Inspection

The inspection comprised a visual assessment of the property to identify major defects and safety hazards, and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

What is reported on:

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.
- The following areas shall be inspected where applicable:
 - The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
 - The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
 - The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and barges
 - The roof space: roof covering; roof framing; sarking; party walls; insulation
 - The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
 - The property within 5m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps ; fencing (excluding swimming pool fences) ; surface water (drainage effectiveness)

What is not reported on:

- general exclusions detailed in the standard AS 4349.1 - 2007
- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.
- Specifics excluded by the standard AS 4349.1 - 2007 Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

Special Requirements

It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor & a structural engineer carry out an assessment of the structural integrity of the property.

This report is limited to (unless otherwise noted) the main structure on the site and no other building, structure or outbuilding within 5m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers." Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Dimensions for Reasonable Access

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Part 2: General Comments and Weather Observations

Question Weather conditions at the time of inspection

Answer Clear & Sunny

Note :

We have been engaged to inspect this property at the requested date and time by the commissioning party

In some events we do not have opportunity to gain full access to all areas as they are locked or unavailable at the time of the inspection

In some events we are unable to inspect all areas due to the loss of natural daylight or the sun setting whilst we are surveying the property

We often lose the natural daylight whilst the inspection is in progress and therefore our assessment and report is limited due to the reduced visibility and access within the property.

We do our best to carry out this inspection by using a flashlight, this limits our ability to carry out a detailed and comprehensive assessment of the property.

We do not carry any responsibility in the event that we have missed any area that is vital in creating this report due to the lack of natural daylight or if access to the property was reduced due to limited areas being available to us at the time of the inspection

Our reports and working conditions are in line with Work Health & Safety Regulations

We encourage the reader of the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the home are seen and reported on.

We Do Not Take Any Responsibility For Any Aspect Of The Home If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection

Question Recent weather conditions

Answer Light rain - In the past 7 days

Due to recent inclement weather in the past 7 days , it is not unusual to see the sub-floor area of the property to be damp or wet

This does not mean that the sub-floor ventilation is inadequate though the area should be monitored and re-evaluated once the wet weather has past.

Question Date & Time Inspection Commenced

Answer 2017-05-17 06:57:38

Question Is the building furnished?

Answer Yes (Normal level of furniture and belongings found within the property)

We do not move the Vendor/Tenants belongs when we carry out our inspection.

We do not move nor touch objects within the property.

For Example:

We do not move any objects in the following areas nor look at nor report on the conditions of the property if they are obstructed by the vendor or tenant objects store within the following rooms, and not limited to these rooms and objects:

1. We do not look behind bed heads, nor beds when they are up against a wall or two walls within the room
2. We do not look at the walls and floors which are covered by furniture or objects stored or placed up against the walls and floors
3. We do not look at the walls and floors which are covered by portable cupboards/furniture/ tables
3. We do not look behind nor move curtains, blinds or fixed or loose shutters
4. We do not look behind nor move goods within robes/walk in robes/linen cupboards/ stairwells/ kitchen and laundry cupboards /vanity units
4. We do not look behind nor move goods found the garage or store room
5. We do not look behind nor move goods within the roof voids
6. We do not look behind nor move goods with the subfloor areas

If a defect is hidden behind or in these areas due to an obstruction we don't report on them nor do we take responsibility for including these defects within our report

Question

Did the inspector access all areas of the property

Answer

No I could not inspect all areas within the property. I did not inspect the following areas :

I could not inspect all areas of the house today

The areas noted below are excluded from our report, you can not rely upon any facts within this report for these areas, even if I make comment to them in this report, as I may have been able to inspect the areas in question IN PART BUT NOT IN FULL.

As I could not inspect the areas in FULL I therefore, make the entire area(s) excluded from our report

I strongly recommend the commissioning party or the reader of this report request that the vendors or their agent make the following areas available to be inspected/re-inspected once access is created

We encourage you to re-engage our office to carry out a second inspection to include the non-inspected areas an additional fee is applicable for a 2nd inspection

The areas not inspected in full nor included in this report are:

Answer

Subfloor area

The Subfloor areas were not able to be gained in full at the time of this inspection

Answer

Below Timber decks

I did not access all areas below the timbers deck

Answer

No access to the roof void due to no manhole

No access to the roof void due to no manhole.

Answer **Partial access to the sub floor area, due to limited space within the sub floor area, I was unable to gain access to all areas of the sub floor area and this portion of the house is excluded from my report**

Partial access to the sub floor area, due to limited space within the subfloor area, I was unable to gain access to all areas of the sub floor area and this portion of the house is excluded from my report

Limited access to the sub floor area, due to no access hatch nor crawl space found at the time of the inspection not meeting Australian Standards access regulations

Access hatches must be 400mm x 500mm, and with 600mm x 600mm minimum crawl space, the entire subfloor area is not inspected on this basis

NOTE (If the sub floor area is commented on its on the basis of the inspector viewing the subfloor chamber only from the one access hole only and this report can not be relied upon in that one area).

Answer **Partial access to the roof void area, due to limited space within the roof void area, I was unable to gain access to all areas of the sub floor area and this portion of the house is excluded from my report**

Partial access to the roof void area, due to limited space within the roof void area, I was unable to gain access to all areas of the sub floor area and this portion of the house is excluded from my report.

Answer **Refer to the supplementary text below**

Area I inspected the house roof void, but not the rear games room roof void due to no access

I inspected the sub floor area, approximately 30% of the sub floor area was inspected and reported on within this report

Question **Due to excess belongings present at the time of the inspection we were not able to assess in full the following areas**

Answer **Excess goods were found in the bedrooms**

Once the vendor/tenants belongings are removed within the bedrooms we will be able to inspect and report on the condition of this room/space.

Answer **Excess goods were found in the storeroom**

Once the vendor/tenants belongings are removed within the storeroom we will be able to inspect and report on the condition of this room/space.

Answer **Refer To Supplementary Text Below**

Location The rear storeroom attached to the pool room and games room has shelving and vendors personal belongings stored up against the wall and floor junction on the left-hand side wall, this wall was unable to be inspected and assessed in full

The bedrooms as a whole were inspected with the exclusions of the walls and floors in and around and behind the built-in wardrobe's

Question **This report was commissioned by the?**

Answer **Vendor**

Question We assume the property is occupied by?
Answer Vendor

Part 3: Description of Building

Question Type of Building

Answer Residential

Question Style of Building

Answer Period Building

Question Type of Structure

Answer House

Question Number of Storeys

Answer Single Storey Building

Question Approximate age of the Original Building

Answer Approximately fifty to seventy five years old

Question Roof Covering

Answer Colourbond Steel

Answer Concrete Tiles

Answer PVC (Poly carbonate roof sheets)

Question Roof Frame

Answer Timber Truss Roof

Answer Timber Hand Pitched Roof

Answer Unable to confirm due to no access

Answer Other

Question Roof Pitch (approximate degree of steepest roof pitch)

Answer 25

Question External Walls

Answer Rendered Masonry Walls

Answer Timber Cladding Walls

Answer Fibrous Cement Walls

Answer Blue Board & Acrylic Render Walls

Answer Weather Board Walls

Question Floor Construction

Answer Slab On Ground or Raft Concrete Slab

Slab On Ground or Raft Concrete Slab:

Raft slab on ground construction requires the edges of the slab visible for periodic pest inspection

Pest inspections should be carried out every six to nine months to monitor any potential pest activity.

The exposed concrete edges and slabs should be inspected and reported on every twelve to fourteen months for concrete cancer or any deterioration of the concrete slabs

Answer Timber Flooring on Timber Framing

Timber Flooring on Timber Framing:

Timber floor covering on a timber structure can be a combination of hard or softwood joists covered with plywood, particle board flooring, hard or softwood strip flooring

All floor framing should be inspected and treated every six to nine months for pest activity

Answer Fibrous Cement Flooring / Particle Board on Timber Framing

Fibrous Cement Flooring / Particle Board Floor coverings on Timber Framing:

We cannot confirm if this house has compressed fibrous floor linings within the wet rooms

We assume that this property has been built with timber frames and compressed fibrous floor linings,

In newly built homes " Project Homes " it is common to find particle board flooring installed over the timber floor joints and then waterproofed within each bathroom, laundry/wet rooms

All floor framing should be inspected and treated every six to nine months for pest activity

Answer External Timber Deck

External Timber Deck:

Timber decks require periodic maintenance including cleaning and oiling/painting to ensure its longevity.

If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use, the longevity of this item would be compromised.

If at the time of inspection, access beneath the deck is unavailable, it is assumed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required.

All floor framing should be inspected and treated every six to nine months for pest activity.

Answer External Timber stairs

External Timber Stair:

Timber decks require periodic maintenance including cleaning and oiling/painting to ensure its longevity.

If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use the longevity of this item would be compromised.

If at the time of inspection, access beneath the deck is unavailable, it could not be confirmed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required.

All floor framing should be inspected and treated every six to nine months for pest activity

Answer **External Pavers**

This home has pavers applied to the external floor linings, which needs to be maintained

Question **Footings**

Answer **Slab on Ground (raft slab with combined footings)**

Slab on ground has the footings combined within the slab structure

Answer **Concrete Pad Footing**

Concrete pad footings appear to be in place supporting piers and the floor/wall structure above

Answer **Concrete Strip Footings**

The outer and inner walls of the property appear to have the walls built off the concrete strip footings

Answer **Brick Footings (pad and or strip footings)**

This property appears to have brick footings embedded within the foundations

Answer **Sandstone Blockwork**

The House is founded off sandstone blockwork.

Question **Outbuildings (All outer structures within 30 meters of the house is included within this report subject to access being available at the time of the inspection)**

Answer **Swimming Pool**

Answer **Refer To The Supplementary Text Below**

Question Front of Building Faces (approx)?
Answer East

Sample

General Photographs:



Sample

Part 3a: Areas Inspected

- Interior of Building

I have Inspected the internal spaces within the property.

- Exterior of Building

I have inspected the external elevations of the building.

- Entire Roof Exterior

I have inspected the entire roof linings of this property.

- PARTIAL Sub Floor Space

We have not been able to inspect the entire subfloor area due to limited access at the time of the inspection

*This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property.

*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.

- PARTIAL Roof Void/Roof Space

I have Inspected the roof void in part, Partial Roof Void/Roof Space.

*We have not been able to inspect the entire roof void within this property due to limited access at the time of the inspection

*This means that this entire roof void of the property is not assessed nor reported on, nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property.

*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.

- The Entire Site (Within 30m of the main house)

I have inspected the entire external site within 30m of the house.

*All other objects/structures or assets outside the 30m radius is not inspected nor assessed nor reported on within this report.

- Detached structures (beyond 30m of the main house)

I have inspected all structures within the boundary line of the property.

- Pool

I have inspected the following aspects of the pool.

*NOTE: We do not comment on the compliance of the pool fence or gate or any matter other than the condition of the asset.

*We comment if the pool has a pool fence

*We comment if the pool gate self-closes

*We comment on the pool concourse

*We comment on the pool coping tiles

*We comment on the pool expansion joints

- *We comment on the pool structure
- *We comment on the pool skimmer box
- *We comment on the pool internal linings
- *We comment on the equipment condition
- *We comment on the pool equipment enclosure.

- Electrical

We inspected the following aspects of the electrical fit out

*NOTE: This is not an assessment carried out by a qualified electrician

- *We inspected and comment on the light fittings
- *We inspected and comment on the electrical fixtures
- *We inspected and comment on the smoke alarm
- *We inspected and comment on the sub board
- *We inspected and comment on the meter box/board.

- Plumbing

We inspected the following aspects of the plumbing trade

*NOTE: This is not an assessment carried out by a qualified plumber

- *We inspected and comment on the plumbing fittings
- *We inspected and comment on the plumbing fixtures
- *We inspected and comment on the sanitary ware that has running water
- *We inspected and comment on the sanitary ware that has drainage lines or drainage points.

- Refer To Supplementary Text Below

Part 4: Interior of Building

Question Ceilings; Are all ceilings free of sagging, nail popping, cracking, staining or other damage?

Answer **Minor sagging and or minor imperfections in places**

Minor sagging and or minor imperfections in places, I can see there is a combination of the following:

1. Sagging of the plasterboard ceilings in various locations
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

Any home beyond two years old can have cracks in the plasterboard and cornices and this will be rated a minor defect, and those defects may not all reach this report

If the house was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices

We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices

Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition

Any cracks in the ceiling linings that have roof access above could have been created by a service contractor or owner when accessing the roof void, making the cracks within the ceiling non critical.

I recommend that all roof voids are not to be used as storerooms, as the additional loads to the roof framing, plasterboard linings and cornices may create or contribute towards cracks within the ceilings and cornices (Unless a new timber floor structure and floor lining boards are installed and are detached to the ceiling joints)

Answer **Minor cornice cracking**

Minor cornice cracks are seen between the cornices and ceilings and cornices and walls, this is possibly due to normal movement within a home and is considered an acceptable and non-structural issue

1. Cracks were found within the cornices where each length of cornices meet and are set together
2. A good plasterer and painter can repair and make good these issues quite easily and cost effectively.

All homes with the above issues should be monitored and if they further develop, a structural engineer should be engaged to assess and report on the entire property

Answer **Slight cracking to ceiling joints & cornices**

Minor cracks evident at the plasterboard ceiling joints, these cracks are not structurally significant.

1. Some sagging of the plasterboard ceiling is evident in places.
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

A home beyond two years old can have cracks in the plasterboard and cornices and it is not a major defect

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Photos



Question Walls; Are the wall linings free of bulging, nail popping, cracking, dampness/staining, vertical distortion and other damage?

Answer **Minor cracks to plaster linings - Typical settlement cracks found within a building**

Minor cracks were seen within the internal wall linings due to normal settlement and can be left as is.

Hairline cracks in the wall linings are normal and they are normally fixed up by a painting contractor when a house is repainted. A normal life cycle for painting a house internally is every six to ten years.

Note

If the house was recently painted for the sale of the property, we will not be able to see the defects (structural or cosmetic) concealed by the recent work.

Defects, if any, will normally re-appear within the next three to twelve months. (in the change of seasons)

The most common periods to see cracks in walls are in the summer period when house foundation moisture content is lowered or in the reverse if the improvements were carried out in summer, if this is the case, please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property.

Answer **Minor Imperfections**

Minor Imperfections - The imperfections could easily be rectified prior to the next painting.

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Photos



Question Are all internal habitable rooms free of damp problems, including rising/falling damp, condensation, horizontal penetrating dampness?

Answer Yes

Question Floors; Are floors free of movement such as spring, bounce and or cracking, are they free of dampness/staining and other damage?

Answer Old veranda(s) have been enclosed and now this area is an internal habitable space, but the floor is still sloping from the original build, it is common for the floor to be sloping, bouncing and squeaking underfoot and no ant cappings installed to the underside bearers and joists

Old veranda(s) have been enclosed and now this area is an internal habitable space

It is very common to see the floor to be sloping to the external walls to allow water run off from the original build of the deck

It is common for the floor to be sloping, bouncing and squeaking underfoot and no ant cappings installed to the underside bearers and joists

Answer Refer To Supplementary Text Below

Location The walls may not be watertight, as the walls were originally built with no cavity, which could allow moisture to travel through the walls and into the new internal space within the house

Defect Rating Minor Defect

Photos



Question External windows & doors (Timber framed); Are all windows free of broken/cracked glass, damage to putty, staining/decay, or do they operate freely?

Answer Evidence of minor rotting

Evidence of minor rotting found within the external doors / windows

Repairs and re-painting is required by a painting contractor to preserve the timber members

Answer Refer To Supplementary Text Below

Location Front bedroom window facing North

Defect Rating Minor Defect

Photos



Question External windows & doors (Metal framed); Are all windows free of broken/cracked glass, damage to glazing seals, staining/corrosion, or do they operate freely?

Answer Yes

The external windows and doors were in good order at the time of the inspection

Question Bedroom Windows - Are there windows installed within a bedroom with a sill height of less than 1.7m with a fall greater than 75mm? (2 metres is measured from the internal floor to the outside finish floor level.)

Answer No

Question Other than bedrooms

Answer No

Question Doors & Frames; Do all doors and hardware operate freely and not bind on frames, and are they free of decay/corrosion and other damage?

Answer Yes

All doors and door hardware were in good working order at the time of the inspection

Question Kitchen; Is the benchtop free of lifting, delamination, water damage or other damage?

Answer Yes

The kitchen bench-top was in acceptable condition at the time of the inspection

Question Kitchen; Are the cupboards free of water damage, musty odour?

Answer Yes

The kitchen cupboards were in acceptable condition at the time of the inspection

Question Kitchen; Do the cupboard doors and drawers operate freely?

Answer **Cupboard doors/drawers misaligned**

Cupboard doors/drawers are misaligned requiring adjustment or replacement of the hardware.

Question **Kitchen; Are the sinks/taps free of chips, cracks and/or water leaks?**

Answer **Yes**

The kitchen sink and taps were in acceptable condition at the time of inspection

Question **Kitchen; When water supply is switched on, does it operate and drain correctly?**

Answer **Water hammer sound present when turning on/off the water supply taps**

Water hammer sound present when turning on/off the water supply taps, a plumber should be consulted on this matter

Answer **Refer To Supplementary Text Below**

Defect Rating **Minor Defect**

Question **Kitchen drainage: does the water drain freely? Is there a water leak found within the cupboard below the sink?**

Answer **Yes**

The water drain freely at the time of inspection

Question **Kitchen; Is the splashback free of cracking, drumminess, or loose/missing grout/sealant?**

Answer **Yes**

The kitchen splashback was in acceptable condition at the time of inspection

Question **Bathrooms/WC; Are cisterns/pans/bidets free of cracks, leakages, or do they flush correctly?**

Answer **Yes**

Question **Bathrooms/WC; Are cisterns/pans/bidets correctly installed and are they stable/rigid?**

Answer **Yes**

Question **Bathrooms/WC; Is there running water within the cisterns/pans/bidets?**

Answer **Yes**

Question **Bathrooms/WC; Are bathtub taps free of leaks, and does the water supply operate correctly?**

Answer **Yes**

Question **Bathrooms/WC; Are basin/vanity taps free of leaks, and does the water supply operate correctly?**

Answer **Yes**

Question Bathrooms/WC; Are shower taps free of leaks, and does the water supply operate correctly?
Answer Water hammer sound present when turning on/off the water supply taps

Water hammer sound present when turning on/off the water supply taps a plumber should be consulted

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Photos



Question Bathrooms/WC; Are the floor wastes/strip drains or vanity wastes blocked?
Answer Yes

On visual inspection the areas appeared to be blocked

When testing the fixtures and fittings the areas did not drain well at the time of the inspection

Question Bathrooms/WC; Is the bathtub free of damage and installed correctly?
Answer Yes

Question Bathrooms/WC; Are the SHOWER wall and floor tiles free of cracks, drumminess, or loose/missing grout/sealant?
Answer Cracked tiles

Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water existing the shower cubical

Answer Gaps in sealant

Gaps can be seen in the sealant, this will require the area in question removed and new sealant applied

Answer No silicone sealant applied within the bathrooms

All internal corners both vertical and horizontal should have silicone sealant applied to the junctions.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Photos



Question Bathrooms/WC; Are the BATHROOM wall & floor tiles free of cracks, drumminess, or loose/missing grout/sealant?

Answer Gaps/defective sealant

Areas of sealant can be seen to be incomplete or defective requiring attention

Answer No silicone sealant within the bathrooms

Silicone sealant not evident at the time of inspection.

Sealant should be applied to all internal and external tiled junctions

Answer Drummy tiles

Tiles found to be drummy due to failed or inadequate adhesive

These tiles could be left as is though have the possibility of cracks developing or dislodging from the substrate therefore could be replaced by a tiling contractor.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Photos



Question Bathrooms/WC; Is the shower screen free of defect or damage?

Answer Showerscreen and tile junctions needs to be cleaned and re-sealed

The shower screen and tile junctions need to be cleaned and re-sealed

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen once the bathroom is cleaned

Answer Minor gaps in sealant

Minor gaps in sealant

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

Answer Refer To Supplementary Text Below

Location Main bathroom shower screen and floor tile junction has excess silicone, a quick tidy up could be done to address this visual issue, I could not see any water seeping out of the shower cubicle

Defect Rating Minor Defect

Photos



Question Bathrooms/WC; Around the shower, is it free of signs of leaking/seepage?

Answer Yes

Question Bathrooms/WC; Is the vanity unit or basin, cabinet and/or mirrors free of damage or defect?

Answer Water damage to vanity cabinet

Evidence of water damage within the vanity unit

Answer Doors/drawers bind on cabinet frame

The hinged doors and or drawers require adjustments or repairs so they operate correctly and they have equal margins

Answer Refer To Supplementary Text Below

Location Main bathroom

Defect Rating Minor Defect

Photos



Question Bathrooms/WC; Is the room free of condensation damage?

Answer Yes

Question Laundry; Are taps free of leaks or defects?

Answer Yes

Question Laundry; Is the tub/cabinet free of water damage, corrosion or other defect?

Answer Yes

Question Laundry; Is the laundry tub "waste pipe" in order/unblocked allowing water to drain away freely?

Answer Yes

On visual inspection the areas appeared to be clear and unblocked

When testing the fixtures and fittings the areas drained freely at the time of the inspection

Question Laundry; Are the wall or floor tiles free of cracks, drumminess, or loose/missing grout/sealant?

Answer Yes

Question Laundry; Is the room free of condensation damage?

Answer Yes

Question Electrical; Do all powerpoints and light switches appear to be cosmetically undamaged? or located in an incorrect location (Safety Issue) ?

Answer Yes

Question Electrical; Do all light fittings appear to be cosmetically undamaged?

Answer Yes

Question Electrical; Do battery or hardwired smoke alarms exist?

Answer Yes, but in the wrong location

The smoke detector needs to be located in the correct location meeting current regulations (In front of bedrooms and interception smoke or fire from the kitchen to the bedrooms)

A licensed electrician or installer needs to be commissioned to have the correct number of smoke alarms installed and checked every twelve months

This is a very Important issue that needs to be addressed ASAP

Defect Rating Safety Hazard

Photos



Question Electrical; Does the main power board or sub board have current industry standard circuit breakers and an RCD safety switch?

Answer Yes

Yes. An RCD safety switch was installed, however, it is recommended that an electrician carry out a safety inspection as I am not able to ascertain if any electrical defects exist or if any non compliant electrical works have been carried out at this dwelling prior to purchasing this dwelling.

Defect Rating No Defect

Photos



Question Is there a Pest Notification Label within the electrical meter box ?

Answer No

I did not see a pest contractors sticker in the electrical meter box at the time of this inspection

The electrical meter box is the industry standard location for a pest contractor to install his sticker

The sticker confirms the last inspection or treatment application date

The sticker confirms which treatment, or pest management system is applicable to this property on the basis of earlier treatments carried out

We recommend all properties be inspected regularly, the average life cycle of chemical spray system is less than 12 Months, we recommend all properties be assessed and reported on and a chemical treatment be applied every 6-9 months as a "Best Pest Prevention Plan" for this property

Defect Rating Minor Defect

Photos



Question Are all rooms free of any water damage not early noted ?

Answer Yes

Sample

Part 5: Exterior of Building

Question External Walls/Lintels/Beams; Are the lintels, walls or beams sufficiently rigid and free of defect/damage/ cracks/moisture?

Answer **Minor cracks within external brickwork**

The house has minor cracks seen within the external elevations of the property

These cracks are typical and non-structural issues, should they open up or develop over time a structural engineer should be engaged " This is a minor defect in the current condition of the property "

Answer **Lime Mortar - Minor cracks within external brickwork**

The house has minor cracks seen within the external elevations of the property

The cracks within the external walls are typical for period home due to lime mortar construction; these cracks are typical and non-structural issues, should they open up or develop over time a structural engineer should be engaged " This is a minor defect in the current condition of the property "

Answer **Cracks in render - Minor**

Cracks found within the rendered finish.

Cracks appear to be minor in nature following the line of brick joints

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Photos



Question External Walls; Are all walls/wall cladding free of defect/damage, and is the paint/coating maintained?

Answer **Rising damp/salt residue on lower walls**

Salt residue could be due to internal lower wall paint flaking which is associated with rising damp problems.

It is imperative that specialist advice be sought to ascertain cause and extent of rising damp problem.

Rising damp in one area of the dwelling that is visible may mean that other sections of the dwelling may be affected and not visible.

Accurate diagnosis of the cause and extent of the damp problem is very important, specialist advice must be sought.

Further investigation is required by a bricklayer or a damp proof specialist

Answer **Lower brick mortar decay/missing mortar from the face brick and sandstone walls**

Lower brick mortar decay/missing mortar was evident at the time of inspection from the masonry walls

Lower brick mortar decay evident is a typical issue for lime mortar built projects which are exposed to the weather and not maintained over time.

Requires assessment by a qualified bricklayer.

This can be age related, poor mortar mix related and rising damp penetration related.

Further investigation is required by a bricklayer or a damp proof specialist.

Answer **Base boards contact with the ground**

This is conducive to termite infestation and timber fungal decay and it is preferable to have no non durable timber in touch with the ground.

Answer **Weep holes covered**

Weep holes missing

Weep holes could be covered by soil/vegetation/pathways/render.

You should remove the render or obstructions in front of the weep holes

You should lower soil levels so that sub floor vents are clean and allowing free flowing air to the cavity and sub floor area

Covered weep holes also provide concealed entry points for termites.

Having no weep holes allows water entry into the sub floor area, internal cavity walls and internal walls of the house.

The water within the cavity walls cannot be expelled from the building/walls and sometimes you will see moisture within the internal walls, skirting and floor coverings due to concealed or missing weep holes

If the weep holes are concealed it allows the water to pool within the sub floor area attracting pest/termite activity, this is also conducive to termite infestation and timber fungal decay

Answer **Poor pipe penetration sealing/missing brick and render**

Penetrations should be well sealed to prevent damp penetration and subsequent deterioration of internal linings.

Engage a bricklayer to assess and remedy ASAP.

As per the Guide to Standards & Tolerances 2007 - clause 7.08- Pipe Penetrations Through External Walls and Inside Cupboards

Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat maximum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size particle.

Contact a plumber or building contractor to seal all openings within the external envelope of the building

Answer **No DPC seen through the render walls**

All walls rendered should have the control joints and damp proof course exposed through the render, so that it doesn't allow bridging of the external render/linings

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Photos



Question

Wall Cladding Flashing & DPCs; Does the wall cladding have suitable flashings and damp proof course, and is it free of dampness damage?

Answer

No flashings evident - Above and below windows and doors (masonry wall)

Flashings should be installed above and below each window and door unit.

Weep holes should be installed to allow moisture to seep out of the wall cavities, when no weep holes are installed or seen in a property such as this one it raises the possibility of moisture being trapped within the internal skin of the house

NOTE:

This is a common problem found in homes that are rendered after the original build. Builder and bricklayers often install flashings and weep holes when they build a new building, but when new owners move into a house they often render the external wall linings and the weep holes get covered over by the renderer and painter as they don't always expose the weep holes.

Answer **No damp proof course/flashing evident - Base of wall**

We did not see the damp proof course (D.P.C.) within the external walls of the building

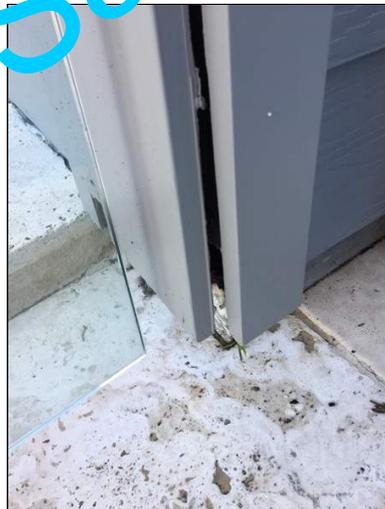
I am not confirming that there is not a concealed D.P.C. but I am confirming that I did not see the normal PVC / LEAD / SLATE damp proof course embedded within the external walls of this property.

It is best practice to have all surrounding surfaces around the building clear of any materials that may retain moisture with minimal garden beds up against the building, all hard surfaces around the building should direct the surface water and any stormwater away from the building keeping the walls, foundations and interior of the house as dry as possible limiting the possibility of rising damp.

Answer **Refer To Supplementary Terms Below**

Defect Rating **Minor Defect**

Photos



Question **Walls & doors / window junctions, do suitable flashings, mouldings, and sills exist and are they free of defect/damage?**

Answer **Missing weep holes above or below windows or doors**

All doors and windows should have had flashings when they were originally installed within the cavity and directed to the external walls of the home, the weep holes allow any water within the cavities to seep from the walls/cavities

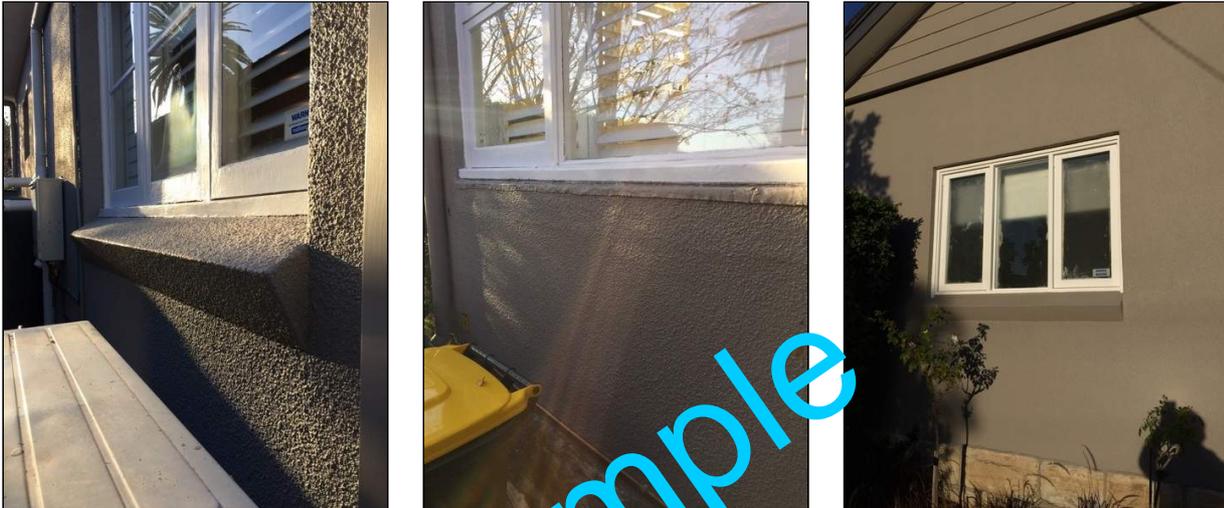
I assume there are concealed flashings above and below the external doors and windows, this house has minimal to no weep holes above or below external doors and window openings

Lack of weep holes will create dampness within the cavity and within the internal wall linings and it will contribute towards the render cracking and render crazing, this will eventually become drummy and fall off the wall, any timber attached to the walls in question will rot and deteriorate before its natural time

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Photos



Question External Stairs; Are the MAIN STAIRS leading to the front door / stairs exposed to the public / main stairs to the property, are they safe to use ?

Answer Yes

Stairs and handrails are in order at the time of this inspection.

Question External Stairs; Are the MAIN STAIRS defective in any way, are the Stringers, Handrails, Balusters, Treads & Risers sufficiently rigid and free of damage ?

Answer Yes

All Stairs and handrails are in order at the time of this inspection.

Question External Stairs; Are the SIDE, REAR or GARDEN stairs found around the property defect free.

Answer Loose/missing/defective stair balusters & handrail

The balusters and handrail needs to be made good as they are non compliant with current regulations

A carpenter / fabricator should be engaged to inspect and make good asap

All stairs should be compliant to limit any liability against visitors or occupants from getting injured whilst using the stairs.

Answer Refer To The Supplementary Text Below

Defect Rating Minor Defect

Photos



Question External Stairs; The SIDE, REAR or GARDEI stairs found around the property; Are the Stringers, Handrails, Balusters, Treads & Risers sufficiently rigid and free of damage ?

Answer Refer To The Supplementary Text Below

Location Grab rail should be installed along the wall or on the other side of the staircase and landing

Defect Rating Minor Defect

Photos



Question Balconies/verandas/suspended floors; Do they appear structurally sound, free of defects?

Answer Yes

Appear to be in reasonable condition for their age

Question Balconies/verandas/patios/decks/suspended floors/retaining walls; Are handrails installed ?

Answer Yes

Question Timber deck(s) ; Are the timber members (Bearers, Joists & Decking boards) compliant with current regulations?

Answer Decking - Cupping

The decking boards were seen to be cupped, these boards could pose a safety risk and should be replaced by a carpenter.

Answer < 350mm clearance below deck structure

Ground clearance was seen to be less than the minimum required of 350mm. The minimum clearance should be attained to mitigate conducive conditions such as pest infestation and moisture affecting the structure

Answer Inappropriate materials used

Materials used are not appropriate for use in areas exposed to the elements.

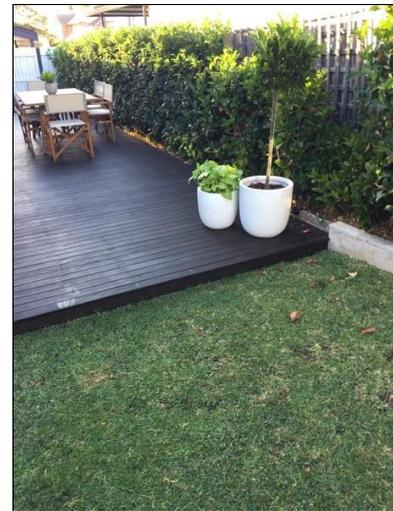
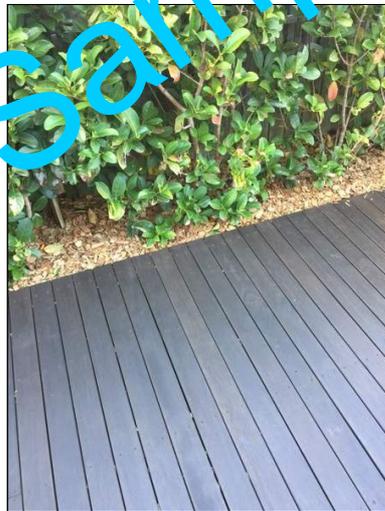
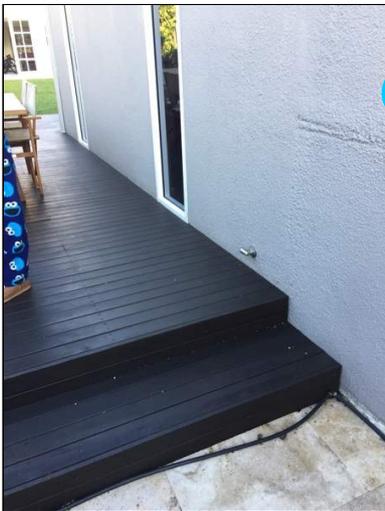
Answer No/defective ant capping installed

Ant capping was defective or not evident at the time of inspection.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Photos





Sample

Question General; Is the exterior elevations free of any other damage or defects not earlier addressed?
Answer Yes

Part 6: Roof Exterior

Question Roof Elevations & Roof Plumbing: Is the gutter line at 2.7 metres or lower in height from the natural ground level ?
Answer Yes , Its a single story building

The property is a single story structure

The roof is accessible from a 3.6 metre ladder from the natural ground level

The gutters were below 2.7m from the natural ground level making it compliant for an assessment to be carried out

Question Roof tiles, shingles, slates: Is the roof free of cracked and broken/decayed tiles? SPECIAL NOTE: The Inspector takes minimal photos whilst on the roof so the inspectors hands are free during the inspection for safety reasons and photos are generally taken from afar if any

Answer **Dislodged tiles & Minor adjustment of the roof tiles and flashings are required to keep the house watertight**

Dislodged tiles in a few areas

I encourage you to engage a roof tiler to rectify this issue.

Answer **Hip / Ridge capping mortar cracking**

Hip capping, the mortar has cracks and openings within the pointing visible at the time of my inspection.

See a roof restoration company to have the roof reinspected and re-pointed.

If not attended to this can allow water penetration during rainfall and it requires rectification.

If the roof tiles / capping/s are loose on the roof there is a chance that the roof tiles or capping pieces can fall from the roof in high winds or during heavy storms causing damage to the objects below or humans passing by which could be fatal or cause a major injury

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Photos



Question **Roof Sheeting, is the roof free of corrosion, or other defects/damage?**

Answer **Yes**

The visible and inspected areas of the roof were found to be in reasonable condition for its age

Note:

I normally assess the internal ceilings and roofs to see where old or present water entry points are or have been

It is impossible to assess and report on concealed water entry points especially when houses are commonly re-painted for the purpose of the sale of the property, which makes our assessment difficult, as water entry points, deteriorated roof sheets or roof plumbing are commonly covered by flashing or sealant/silicone

Question Roof Flashings; Is the flashing free of uplift, corrosion or other defect/damage?

Answer Yes all flashings appear to be in order at the time of my inspection

No defective nor missing flashings were seen within the roof elevations

Question Roof Plane; Is the roof free of bulges, sagging or other movement?

Answer Yes

The roof is not perfect but its in a fair and reasonable condition, I had limited access on the day of the inspection

Question Roof Gables; Are the gables free of defects/damage, and is the paint/coatings in good condition?

Answer Gaps in gable linings

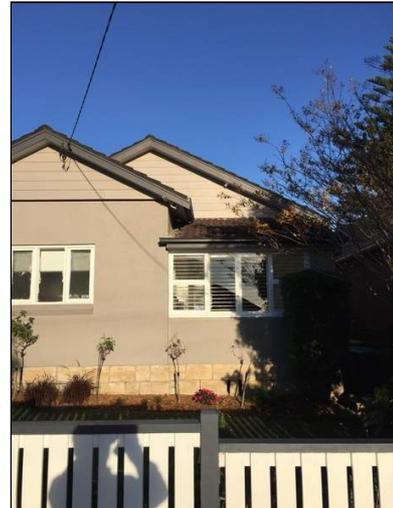
Gaps in gable cladding allowing pests and debris to enter the roof/house cavity

Answer Refer To Supplementary Text Below

Location Lead flashing could do with a panel beat and additional sealant applied to the front two gable roofs located at the front of the house

Defect Rating Minor Defect

Photos





Question Skylights/Vents/Flues (All Roof Penetrations) ; Do the roof services and flashings appear watertight?

Answer Yes

Question Valleys/Gutters/Downpipes; Are they free of rust and do they appear to drain effectively?

Answer Gutters - Blocked

I found blocked guttering and gutters with excess debris within them.

The gutters need to be cleaned out to prevent blocking of downpipes and leaking into eaves and fascia.

Answer Gutter joins leaking

Gutter joins leaking

Excess water leaking is conducive to timber fungal decay and an increased risk of termite infestation if left as is. This can cause deterioration of cladding plus wall and roof framing.

This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings

Answer Gutter joins separated

Gutter joins separated

Repairs required in order to prevent deterioration by leaking

Liaise with a plumber to have rectified

Answer Gutters are ponding

Gutters are ponding.

Possibly due to debris or poor fall of actual gutter installation.

You must have gutters cleaned and assessed by a plumber for adequate fall.

Also regularly clean to prevent ponding, as ponding water will contribute to rust

Answer Downpipes not connected

Not all downpipes are connected to a stormwater system.

See a plumber to have connected.

This has potential to cause differential settlement to the footings, cause rising damp and is also conducive to an increased risk of termite infestation.

This could lead to being a major defect because of the potential problems relating to excess water within the sub floor.

Answer Downpipe joins leaking

Downpipe joins leaking, have a roofing plumber repair/seal this issue while it's a minor defect

Answer Refer To Supplementary Text Below

Location Rear building / pool room / storeroom

Defect Rating Minor Defect

Photos



Question Eaves/fascias/barges; Are they free of corrosion/decay, and do they appear to be sufficiently rigid?

Answer **Fascia - fungal decay**

Timber fungal decay evident.

Have carpenter repair or replace.

Answer **Barge board - fungal decay**

Fungal decay seen to be present on the barge boards.

Repairs to this area should be undertaken by a carpenter and painter

Answer **Fascia - cracked/split**

Fascia can be seen to cracked/split, this should be replaced or repaired by a carpenter.

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Photos



Sample

Question **General; Is the roof free of any other damage or defects?**

Answer **Yes**

Part 7: Roof Space

Question **Roof Voids; Was the roof void able to be entered and assessed / reported on? Note : All skillion roofs with no roof voids or access hatches are excluded from this report**

Answer **Yes, the roof void was inspected**

The roof void was inspected

Due to the way the roof was built we can not inspect all areas of the roof

We therefore do not offer a complete and comprehensive report on all the elements within the roof void

Question **Roof Voids; Is the underside of the roof free of water staining or observed daylight?**

Answer **Yes**

The underside of the roof at the time of the inspection was in an acceptable condition for the age of this property

Question **Roof framing; Does the framing appear to be structurally sound and free of defects/decay/corrosion or other damage?**

Answer **Unable to inspect the entire roof void due to limited access within the roof void, deeming the entire roof excluded from our report**

Answer **Unable to inspect roof void**

The area was unable to be inspected, this area is excluded and does not form part of this report

Answer **Sagging/unevenness of the purlins/rafters & possibly sagging ridge & hip lines**

Minimum timber structure and support is found within the roof voids, unevenness is contributing to sagging/unevenness in the roof line.

There are bowed and sagging purlins and rafters

There are minimal struts supporting the roof structure down to the load bearing walls below

In some cases struts are removed within the roof voids to create large storage areas or to install or remove large HWS and over time the roof structure sags and bows and this is seen within the roof void and externally in the roof tiles and metal deck roof sheets

Additional struts and purlins should be installed to the roof to meet current regulations

Have a carpenter assess and rectify this issue

Answer **Refer To Supplementary Text Below**

Location The rear building roof void was not inspected

The house roof void was inspected but due to the restrictions within the low pitch roof and timber framing, I could not inspect all areas of the roof void

For the age of the house, the roof void appears to be in good condition

I recommend an electrician clip up the electrical cables, as there are loose cables which should be clipped to the timber structure

I recommend a pest contractor inspect and report on the roof void and sub floor areas and they need to apply their chemical treatment to the roof void and sub floor areas, as I did not inspect in full these two areas of the house due to limited access within the roof space

Defect Rating Further investigation

Photos



Question Roof framing; Is the roof framing free of modifications/from the original build?

Answer Yes

Question General; Is the roof space free of any other damage or defects?

Answer I did not access the entire roof void, therefore this portion of the property is excluded from our report. You can not rely upon the visual information within the roof void section

I did not inspect the entire roof void

I am not commenting on all aspects of the roof void and i am not supplying you a full and comprehensive assessment of the roof void

I, therefore give you no assurance of the condition of the roof void as I did not inspect nor report on the entire roof

Part 8: Sub Floor Space

Question Sub floor access : Was there access to the sub floor area?

Answer No - One sub floor area was available to be inspected

One sub floor area/room/chamber was available and was inspected at the time of this inspection

Any comments made within this report is on the basis of this single area only that was inspected

The single area that was inspected was the area that you see/enter from the access hatch into the sub floor area

As we have not been able to access the entire sub floor area we cannot comment on the entire sub floor and we deem the entire sub floor area excluded from this report, you cannot rely upon this report to reflect the true conditions of the entire sub floor area as it has not

been inspected nor reported on within this report

Location I could not gain access to the entire sub floor area due to restricted access within this sub floor

Defect Rating Further investigation

Photos



Question Timber floor; Are bearers and joists free of deflection and sag, and free of cracks, corrosion, water stains, decay?

Answer Sag in bearers/joists is evident

Answer Cracking to timber bearers

Answer Cracking to timber joists

Answer Timber rot damage evident

Answer Timber borer damage evident

Answer Moisture staining in timber members

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Photos



Question Timber floor; Do columns/posts appear to be structurally sound, with undamaged ant cappings, and free of cracks, corrosion, decay?

Answer **Missing/damaged ant cappings**

There is missing ant cappings within the sub floor area

This is a major issue within the current Building Codes of Australia guidelines

But:

If you have your home inspected and sprayed every six to nine months it drastically reduces the risk of pest infestation

If you have good crossflow ventilation within your sub floor area it reduces the risk for pest infestations, as termites like damp and dark areas

If you have no timber or debris stored within your sub floor area it assists in reducing the possibility of pest infestation

If you keep the sub floor area dry and free from damp this reduces the risk for termites and other pest activity within the sub floor

If you keep all your plumbing (sewer and stormwater lines) in order, this will assist in keeping the site and sub floor areas dry

If you keep all external pathways maintained and have the surface water drain away from the sub floor areas, this will assist in keeping the sub floor areas pest free

Note:

All properties built prior to the 1970's have no termite barriers installed, (Pier Capping, Lineal Capping) as it wasn't legislation then

If you want, you can always have ant cappings retrospectively installed to most of the house, if not all areas

A contractor can access and quote on these works and have the works carried out within a few days to have the sub floor area comply with current regulations

Answer **Refer To Supplementary Text Below**

Defect Rating Major Defect

Photos



Question Timber floor; Does the sub floor area appear to be adequately ventilated, and free of dampness?

Answer **Inadequate ventilation within the sub floor areas inspected**

Inadequate crossflow ventilation within the sub-floor areas.

As with most older dwellings, sub floor ventilation is inadequate when compared with today's requirements.

The older dwellings have small rooms and sub floor chambers and hence there is less opportunity for movement of air within the sub floor, this is often because many homes have objects placed up against the external walls and landscaping hard up against the external walls, preventing natural air from flowing into the sub floor area

You could improve the sub floor ventilation to meet today's regulations/requirements if desired, as is advisable in older/period and brick dwellings.

You can install additional air vents which would be a days work for a handyman and costs in the realms of \$600 to \$1000

You could install a simple mechanical fan "DIY Pack" from \$600 for the equipment and an electrician can install it within a days work

Or

You could get a ventilation contractor to install a good quality mechanical fan system servicing the entire sub floor area for as little as \$1,500 and up to \$3,500 for a higher quality fan/low noise fan system

Answer

Refer To Supplementary Text Below

Location

Entire sub floor area of the house needs better crossflow ventilation, with the rear and side deck being built hard up against the house has limited the volume of air entering the sub floor area

Defect Rating

Minor Defect

Photos



Question

Timber floor & masonry walls; Are the floor boards & floor framing & supporting walls below the damp proof course free of dampness and decay?

Answer

Timber decay evident to underside of floor boards

Answer

Timber decay evident to the bearers & joists

Answer

The masonry walls have dampness within the supporting walls, under the floor structure. This needs to be regularly inspected as this is not desirable, this means

there is constant moisture within the sub floor area and this could lead to pest/termite infestation

The supporting masonry walls within the sub floor area have dampness within the walls under the floor structure and damp proof course

This needs to be regularly inspected as this is not desirable, this means that there is constant moisture within the sub floor foundations and this could lead to pest/termite infestation

Note :

The sewer and stormwater lines need to be tested to rule out any broken pipes within these areas

All external floors within 2 metres of the property should be sealed, all external pathways should have the surface water directed away from the house, sub floor area and the house foundations

The external walls must have no openings within the wall linings, all apertures/penetrations must be sealed so that no water entry is seen within the cavities or sub floor areas

Answer

Refer To Supplementary Text Below

Location

Very common issues found in period homes, no action is required

I strongly recommend a pest contractor to come and assess, report on and treat the entire sub floor area for any past or present pest activity

Defect Rating

Minor Defect

Question

General; Is the sub floor space free of any other damage or defects?

Answer

I was unable to access the entire subfloor area

I was unable to inspect the entire subfloor area and I deem the entire subfloor area excluded from this report and liability

If I have commented on the subfloor area, it is in part and it does not deem that the conditions that I state in the limited area that I inspected are the same throughout the property

Better access must be available so a 2nd inspection can be carried out and therefore we will be able to supply you a full and comprehensive assess and report covering the entire subfloor area that you can reply upon

Part 9: The Site

Question

Detached Buildings; Car Accommodation, does the building appear structurally sound and free of defects/damage?

Answer

Yes*

Buildings appear in reasonable condition for their age.

Defect Rating

Minor improvements to the painting of the fascia could be done to preserve the timber members

Photos



Question Detached Buildings; Garden Sheds/Workshop, do the buildings appear structurally sound and free of defects/damage?

Answer Downpipes not connected

Downpipes not connected to stormwater system

Answer No termite barriers in place

Answer Refer To Supplementary Text Below

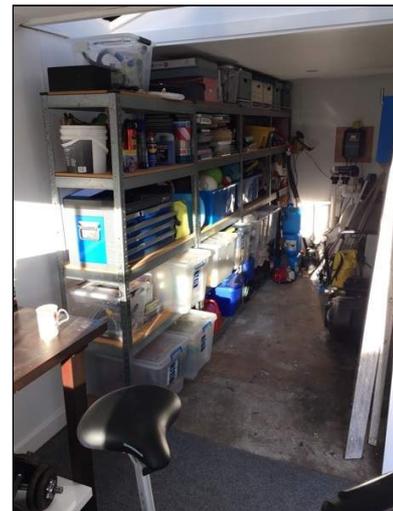
Location Wall linings are under the external floor levels

Excess goods / storage found within the left side of the room making this assessment incomplete due to limited access to the walls and floor in this area

Downpipes not connected and the junctions expressed / open allowing water to sit at the base of the slab on ground and the rainwater is discharged in the garden and pool concourse

Defect Rating Further investigation

Photos





Question Retaining walls; For walls over 700 millimetres high, do they appear structurally sound, and free of decay?

Answer Yes

Question Concrete Pathways, Driveways, Verandas & Decks: Are all areas free of subsidence, undamaged and safe to walk upon?

Answer Minor cracks - Minor tripping hazard - settlement to be monitored

Minor cracks, some settlement and unevenness was observed. Although not an immediate concern these should be monitored for future movement.

A landscaper or concreter should be engaged to repair/rectify. Major defects due to safety/injury concerns.

Answer Refer To Supplementary Text Below

Location Loose pavers within the driveway
Minimal - raised timber decking boards

Defect Rating Minor Defect

Photos





Question Are there expansion joints present in the external floor finishes

Answer No

NOTE:

External Floor finishes must have expansion joints every 5.5m² or every 2.4m a dummy joint within external concrete pavement

Defect Rating Minor Defect

Photos



Question Are there expansion joints present in the external walls ? (Every 5.5m a expansion joint or control joint should be installed)

Answer No

Details Minor defect

Photos



Question Boundary Fences; Do the boundary fences appear to be structurally sound and undamaged?

Answer Yes*

Yes, appears to be in reasonable condition for its age

Question Surface water; Does rainwater drain effectively and not pond against structures?

Answer Paving/paths - water ponding*

Paving or paths along the sides of the home require amending to fall away from the dwellings walls. See a plumber or landscaper to assess. Further investigation required.

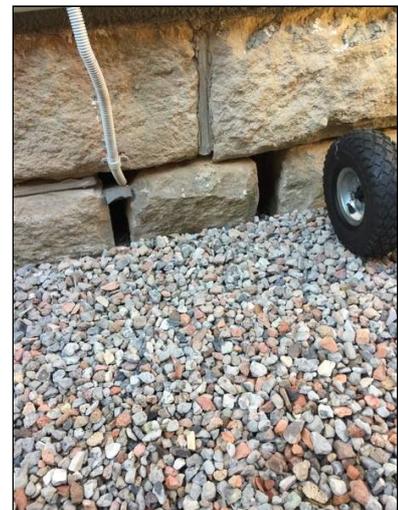
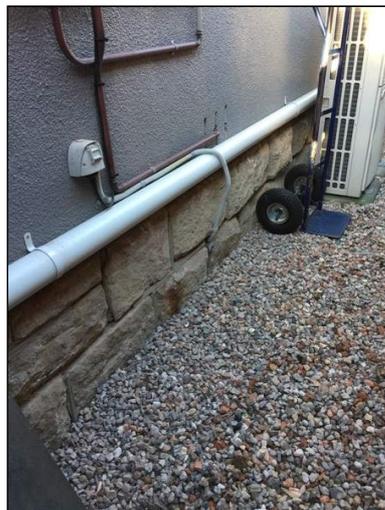
Answer Ground/lawn against buildings - ponding

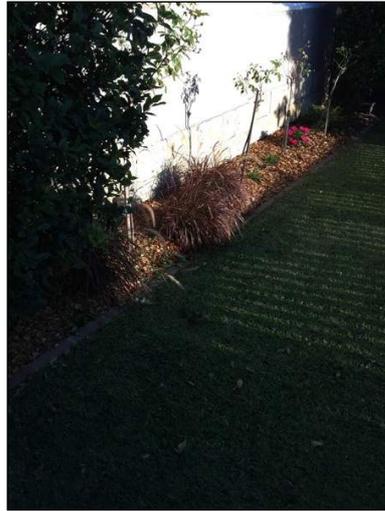
Ground and/or lawn along the sides of the home require amending to fall away from the dwellings walls. See a plumber or landscaper to assess. Further investigation required.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Photos





Question Swimming Pool; Does the pool gate self close and lock tight?

Answer Yes

Question Swimming Pool; Do fences completely surround the pool?

Answer Yes

Question Swimming Pool; Is the pool internal lining in good condition?

Answer Yes

Question Swimming Pool; Do the pool coping tiles appear to be in good condition? Is there an expansion joint between the pool coping tiles and pool concourse floor finish?

Answer No

Answer Refer To Supplementary Text Below

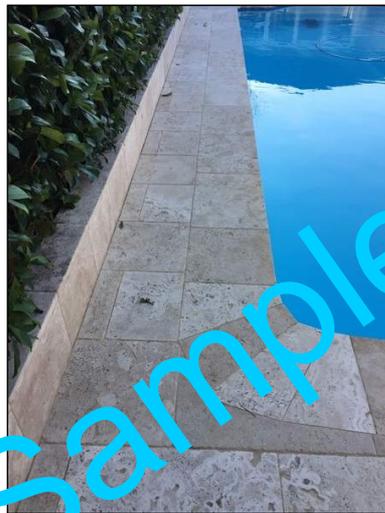
Location The pool has cracked tiles around the pool concourse and at the end of the long tile runs

There needs to be expansion joints installed to the floor tiles and around the pool coping tiles and pool concourse

Defect Rating Minor Defect

Photos





Sample

Question Swimming Pool; Pool equipment, Is there a hydraulic/mechanical pool cleaner within the pool or within the pool room at the time of my inspection?

Answer Yes

Question Swimming Pool; Does the pool equipment

Answer Yes

Question Swimming Pool; Does the pool core shell appear to be structurally sound and not in need of repair?

Answer Yes

Question General; Is the site free of any other damage or defects?

Answer Yes

Part 10: Restrictions

Question Did the inspector have unrestricted access to all areas?

Answer No

Question Areas not inspected including reasons were:

Answer No Sub floor area due to slab on ground

No Sub floor area due to slab on ground

Answer No Roof void due to skillon / flat roof

No Roof void due to skillon / flat roof.

Answer Roof space; No access to the entire roof void

Roof space; No access to the entire roof space.

Answer Roof space; No access

Roof space; No access to the entire roof space.

Answer Sub floor : No access to the entire subfloor area

Sub floor; No access to the entire sub floor

Answer Sub floor; No access

Sub floor; No access to the entire sub floor.

Answer Slab & footing ; Slab edges not exposed and un- inspect-able due to the way the property was built

Unable to inspect slab footings - slab edges not exposed on perimeter of dwelling and floor coverings.

Question Areas to which access should be gained, or fully gained, are:

Answer Roof void; Insufficient clearance

Roof void: Due to insufficient and reasonable clearance.

Answer Roof void; No access door

Roof void: No access door installed.

Answer Sub floor: Insufficient clearance

Sub floor: Due to insufficient and reasonable clearance.

Answer Internally; Cupboard storage

Internally, cupboards also had storage items that restricted full visibility of areas.

Answer

Internally; Storage/furniture

Internally, some walls, skirting boards, floor linings and the like were not visible due to storage/furniture.

Sample

Part 11: Summary of Defects and Safety Issues

Safety Hazards in this Building:

Question Electrical; Do battery or hardwired smoke alarms exist?

Answer Yes, but in the wrong location

The smoke detector needs to be located in the correct location meeting current regulations (In front of bedrooms and interception smoke or fire from the kitchen to the bedrooms)

A licensed electrician or installer needs to be commissioned to have the correct number of smoke alarms installed and checked every twelve months

This is a very Important issue that needs to be addressed ASAP

Defect Rating Safety Hazard

Major Defects in this Building:

Question Timber floor; Do columns/posts appear to be structurally sound, with undamaged ant cappings, and free of cracks, corrosion, decay?

Answer Missing/damaged ant cappings

There is missing ant cappings within the sub floor area

This is a major issue within the current Building Codes of Australia guidelines

But:

If you have your home inspected and sprayed every six to nine months it drastically reduces the risk of pest infestation

If you have good crossflow ventilation within your sub floor area it reduces the risk for pest infestations, as termites like damp and dark areas

If you have no timber or debris stored within your sub floor area it assists in reducing the possibility of pest infestation

If you keep the sub floor area dry and free from damp this reduces the risk for termites and other pest activity within the sub floor

If you keep all your plumbing (sewer and stormwater lines) in order, this will assist in keeping the site and sub floor areas dry

If you keep all external pathways maintained and have the surface water drain away from the sub floor areas, this will assist in keeping the sub floor areas pest free

Note:

All properties built prior to the 1970's have no termite barriers installed, (Pier Capping, Lineal Capping) as it wasn't legislation then

If you want, you can always have ant cappings retrospectively installed to most of the house, if not all areas

A contractor can assess and quote on these works and have the works carried out within a few days to have the sub floor area comply with current regulations

Answer Refer To Supplementary Text Below

Defect Rating Major Defect

Minor and Other Defects in this Building:

Question Ceilings; Are all ceilings free of sagging, nail popping, cracking, staining or other damage?

Answer **Minor sagging and or minor imperfections in places**

Minor sagging and or minor imperfections in places, I can see there is a combination of the following:

1. Sagging of the plasterboard ceilings in various locations
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

Any home beyond two years old can have cracks in the plasterboard and cornices and this will be rated a minor defect, and those defects may not all reach this report

If the house was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices

We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices.

Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues with this property within the ceiling linings or cornices in their current condition

Any cracks in the ceiling linings that have roof access above could have been created by a service contractor or owner when accessing the roof void, making the cracks within the ceiling non critical.

I recommend that all roof voids are not to be used as storerooms, as the additional loads to the roof framing, plasterboard linings and cornices may create or contribute towards cracks within the ceilings and cornices (Unless a new timber floor structure and floor lining boards are installed and are detached to the ceiling joints)

Answer **Minor cornice cracking**

Minor cornice cracks are seen between the cornices and ceilings and cornices and walls, this is possibly due to normal movement within a home and is considered an acceptable and non-structural issue

1. Cracks were found within the cornices where each length of cornices meet and are set together
2. A good plasterer and painter can repair and make good these issues quite easily and cost effectively.

All homes with the above issues should be monitored and if they further develop, a structural engineer should be engaged to assess and report on the entire property

Answer **Slight cracking to ceiling joints & cornices**

Minor cracks evident at the plasterboard ceiling joints, these cracks are not structurally significant.

1. Some sagging of the plasterboard ceiling is evident in places.
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

A home beyond two years old can have cracks in the plasterboard and cornices and it is not a major defect

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Question Walls; Are the wall linings free of bulging, nail popping, cracking, dampness/staining, vertical distortion and other damage?

Answer **Minor cracks to plaster linings - Typical settlement cracks found within a building**

Minor cracks were seen within the internal wall linings due to normal settlement and can be left as is.

Hairline cracks in the wall linings are normal and are normally fixed up by a painting contractor when a house is re-painted

A normal life cycle for painting a house internally is every six to ten years

Note

If the house was recently painted for the sale of the property, we will not be able to see the defects (structural or cosmetic) concealed by the recent work

Defects, if any, will normally re-appear within the next three to twelve months.
(in the change of seasons)

The most common periods to see cracks in walls are in the summer period when house foundation moisture content is lowered or in the reverse if the improvements were carried out in summer, if this is the case, please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property

Answer **Minor Imperfections**

Minor Imperfections - The imperfections could easily be rectified prior to the next painting.

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Question Floors; Are floors free of movement such as spring, bounce and or cracking, are they free of dampness/staining and other damage?

Answer **Old veranda(s) have been enclosed and now this area is an internal habitable space, but the floor is still sloping from the original build, it is common for the floor to be sloping, bouncing and squeaking underfoot and no ant cappings installed to the underside bearers and joists**

Old veranda(s) have been enclosed and now this area is an internal habitable space

It is very common to see the floor to be sloping to the external walls to allow water run off from the original build of the deck

It is common for the floor to be sloping, bouncing and squeaking underfoot and no ant cappings installed to the underside bearers and joists

Answer **Refer To Supplementary Text Below**

Location The walls may not be watertight, as the walls were originally built with no cavity, which could allow moisture to travel through the walls and into the new internal space within the house

Defect Rating Minor Defect

Question External windows & doors (Timber framed); Are all windows free of broken/cracked glass, damage to putty, staining/decay, or do they operate freely?

Answer **Evidence of minor rotting**

Evidence of minor rotting found within the external doors / windows

Repairs and re-painting is required by a painting contractor to preserve the timber members

Answer **Refer To Supplementary Text Below**

Location Front bedroom window facing North

Defect Rating Minor Defect

Question Kitchen; When water supply is switched on, does it operate and drain correctly?

Answer **Water hammer sound present when turning on/off the water supply taps**

Water hammer sound present when turning on/off the water supply taps, a plumber should be consulted on this matter

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Question Bathrooms/WC; Are shower taps free of leaks, and does the water supply operate correctly?

Answer **Water hammer sound present when turning on/off the water supply taps**

Water hammer sound present when turning on/off the water supply taps a plumber should be consulted

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Question Bathrooms/WC; Are the SHOWER wall and floor tiles free of cracks, drumminess, or loose/missing grout/sealant?

Answer **Cracked tiles**

Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water existing the shower cubical

Answer **Gaps in sealant**

Gaps can be seen in the sealant, this will require the area in question removed and new sealant applied

Answer **No silicone sealant applied within the bathrooms**

All internal corners both vertical and horizontal should have silicone sealant applied to the junctions.

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Question **Bathrooms/WC; Are the BATHROOM wall & floor tiles free of cracks, drumminess, or loose/missing grout/sealant?**

Answer **Gaps/defective sealant**

Areas of sealant can be seen to be incomplete or defective requiring attention

Answer **No silicone sealant within the bathrooms**

Silicone sealant not evident at the time of inspection.

Sealant should be applied to all internal and external tiled junctions

Answer **Drummy tiles**

Tiles found to be drummy due to failed or inadequate adhesive

These tiles could be left as is though have the possibility of cracks developing or dislodging from the substrate therefore could be replaced by a tiling contractor.

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Question **Bathrooms/WC; Is the shower screen free of defect or damage?**

Answer **Showerscreen and tile junctions needs to be cleaned and re-sealed**

The shower screen and tile junctions need to be cleaned and re-sealed

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen once the bathroom is cleaned

Answer **Minor gaps in sealant**

Minor gaps in sealant

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

Answer **Refer To Supplementary Text Below**

Location Main bathroom shower screen and floor tile junction has excess silicone, a quick tidy up could be done to address this visual issue, I could not see any water seeping out of the shower cubicle

Defect Rating Minor Defect

Question Bathrooms/WC; Is the vanity unit or basin, cabinet and/or mirrors free of damage or defect?
Answer **Water damage to vanity cabinet**

Evidence of water damage within the vanity unit

Answer **Doors/drawers bind on cabinet frame**

The hinged doors and or drawers require adjustments or repairs so they operate correctly and they have equal margins

Answer **Refer To Supplementary Text Below**

Location Main bathroom

Defect Rating Minor Defect

Question Is there a Pest Notification Label within the electrical meter box ?

Answer **No**

I did not see a pest contractors sticker in the electrical meter box at the time of this inspection

The electrical meter box is the industry standard location for a pest contractor to install his sticker

The sticker confirms the last inspection or treatment application date

The sticker confirms which treatment, or pest management system is applicable to this property on the basis of earlier treatments carried out

We recommend all properties be inspected regularly, the average life cycle of chemical spray system is less than 12 months, we recommend all properties be assessed and reported on and a chemical treatment be applied every 6-9 months as a "Best Pest Prevention Plan" for this property

Defect Rating Minor Defect

Question External Walls/Lintels/Beams; Are the lintels, walls or beams sufficiently rigid and free of defect/damage/ cracks/moisture?

Answer **Minor cracks within external brickwork**

The house has minor cracks seen within the external elevations of the property

These cracks are typical and non-structural issues, should they open up or develop over time a structural engineer should be engaged " This is a minor defect in the current condition of the property "

Answer **Lime Mortar - Minor cracks within external brickwork**

The house has minor cracks seen within the external elevations of the property

The cracks within the external walls are typical for period home due to lime mortar construction; these cracks are typical and non-structural issues, should they open up or develop over time a structural engineer should be engaged " This is a minor defect in the current condition of the property "

Answer **Cracks in render - Minor**

Cracks found within the rendered finish.

Cracks appear to be minor in nature following the line of brick joints

Answer **Refer To Supplementary Text Below**

Defect Rating Minor Defect

Question **External Walls; Are all walls/wall cladding free of defect/damage, and is the paint/coating maintained?**

Answer **Rising damp/salt residue on lower walls**

Salt residue could lead to internal lower wall paint flaking which is associated with rising damp problems.

It is imperative that specialist advice be sought to ascertain cause and extent of rising damp problem.

Rising damp in one area of the dwelling that is visible may mean that other sections of the dwelling may be affected and not visible.

Accurate diagnosis of the cause and extent of the damp problem is very important, specialist advice must be sought.

Further investigation is required by a bricklayer or a damp proof specialist

Answer **Lower brick mortar decay/missing mortar from the face brick and sandstone walls**

Lower brick mortar decay/missing mortar was evident at the time of inspection from the masonry walls

Lower brick mortar decay evident is a typical issue for lime mortar built projects which are exposed to the weather and not maintained over time.

Requires assessment by a qualified bricklayer.

This can be age related, poor mortar mix related and rising damp penetration related.

Further investigation is required by a bricklayer or a damp proof specialist.

Answer **Base boards contact with the ground**

This is conducive to termite infestation and timber fungal decay and it is preferable to have no non durable timber in touch with the ground.

Answer **Weep holes covered**

Weep holes missing

Weep holes could be covered by soil/vegetation/pathways/render.

You should remove the render or obstructions in front of the weep holes

You should lower soil levels so that sub floor vents are clean and allowing free flowing air to the cavity and sub floor area

Covered weep holes also provide concealed entry points for termites.

Having no weep holes allows water entry into the sub floor area, internal cavity walls and internal walls of the house.

The water within the cavity walls cannot be expelled from the building/walls and sometimes you will see moisture within the internal walls, skirting and floor coverings due to concealed or missing weep holes

If the weep holes are concealed it allows the water to pool within the sub floor area attracting pest/termite activity, this is also conducive to termite infestation and timber fungal decay

Answer

Poor pipe penetration sealing/missing brick and render

Penetrations should be well sealed to prevent damp penetration and subsequent deterioration of internal linings.

Engage a bricklayer to assess and remedy ASAP.

As per the Guide to Standards & Tolerances 2007 - clause 7.08- Pipe Penetrations Through External Walls and Inside Cupboards

Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat maximum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size possible

Contact a plumber or building contractor to seal all openings within the external envelope of the building

Answer

No DPC seen through the render walls

All walls rendered should have the control joints and damp proof course exposed through the render, so that it doesn't allow bridging of the external render/linings

Answer

Refer To Supplementary Text Below

Defect Rating

Minor Defect

Question

[Wall Cladding Flashing & DPCs; Does the wall cladding have suitable flashings and damp proof course, and is it free of dampness damage?](#)

Answer

No flashings evident - Above and below windows and doors (masonry wall)

Flashings should be installed above and below each window and door unit.

Weep holes should be installed to allow moisture to seep out of the wall cavities, when no weep holes are installed or seen in a property such as this one it raises the possibility of moisture being trapped within the internal skin of the house

NOTE:

This is a common problem found in homes that are rendered after the original build. Builder and bricklayers often install flashings and weep holes when they build a new building, but when new owners move into a house they often render the external wall linings and the weep holes get covered over by the renderer and painter as they don't always expose the weep holes

Answer

No damp proof course/flushing evident - Base of wall

We did not see the damp proof course (D.P.C.) within the external walls of the building

I am not confirming that there is not a concealed D.P.C. but I am confirming that I did not see the normal PVC / LEAD / SLATE damp proof course embedded within the external walls of this property.

It is best practice to have all surrounding surfaces around the building clear of any materials that may retain moisture with minimal garden beds up against the building, all hard surfaces around the building should direct the surface water and any stormwater away from the building keeping the walls, foundations and footings of the house as dry as possible limiting the possibility of rising damp.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Question Walls & doors / window junctions, do suitable flashings, mouldings, and sills exist and are they free of defect/damage?

Answer Missing weep holes above or below windows or doors

All doors and windows should have had flashings when they were originally installed within the cavity and directed to the external walls of the home, the weep holes allow any water within the cavities to seep from the walls/cavities

I assume there are concealed flashings above and below the external doors and windows, this house has minimal to no weep holes above or below external doors and window openings

Lack of weep holes will create dampness within the cavity and within the internal wall linings and it will contribute towards the render cracking and render crazing, this will eventually become drummy and fall off the wall, any timber attached to the walls in question will rot and deteriorate before natural time

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Question Timber deck(s) ; Are the timber members (Bearers, Joists & Decking boards) compliant with current regulations?

Answer Decking - Cupping

The decking boards were seen to be cupped, these boards could pose a safety risk and should be replaced by a carpenter.

Answer < 350mm clearance below deck structure

Ground clearance was seen to be less than the minimum required of 350mm. The minimum clearance should be attained to mitigate conducive conditions such as pest infestation and moisture affecting the structure

Answer Inappropriate materials used

Materials used are not appropriate for use in areas exposed to the elements.

Answer No/defective ant capping installed

Ant capping was defective or not evident at the time of inspection.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Question Roof tiles, shingles, slates: Is the roof free of cracked and broken/decayed tiles? SPECIAL NOTE: The Inspector takes minimal photos whilst on the roof so the inspectors hands are free during the inspection for safety reasons and photos are generally taken from afar if any

Answer Dislodged tiles & Minor adjustment of the roof tiles and flashings are required to keep the house watertight

Dislodged tiles in a few areas

I encourage you to engage a roof tiler to rectify this issue.

Answer Hip / Ridge capping mortar cracking

Hip capping, the mortar has cracks and openings within the pointing visible at the time of my inspection.

See a roof restoration company to have the roof reinspected and re-pointed.

If not attended to this can allow water penetration during rainfall and it requires rectification.

If the roof tiles / capping/s are loose on the roof, there is a chance that the roof tiles or capping pieces can fall from the roof in high winds or during heavy storms causing damage to the objects below or humans passing by which could be fatal or cause a major injury

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Question Roof Gables; Are the gables free of defects/damage, and is the paint/coatings in good condition?

Answer Gaps in gable linings

Gaps in gable cladding allowing pests and debris to enter the roof/house cavity

Answer Refer To Supplementary Text Below

Location Lead flashing could do with a panel beat and additional sealant applied to the front two gable roofs located at the front of the house

Defect Rating Minor Defect

Question Valleys/Gutters/Downpipes; Are they free of rust, and do they appear to drain effectively?

Answer Gutters - Blocked

I found blocked guttering and gutters with excess debris within them.

The gutters need to be cleaned out to prevent blocking of downpipes and leaking into eaves and fascia.

Answer Gutter joins leaking

Gutter joins leaking

Excess water leaking is conducive to timber fungal decay and an increased risk of termite

infestation if left as is. This can cause deterioration of cladding plus wall and roof framing.

This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings

Answer **Gutter joins separated**

Gutter joins separated

Repairs required in order to prevent deterioration by leaking

Liaise with a plumber to have rectified

Answer **Gutters are ponding**

Gutters are ponding.

Possibly due to debris or poor fall of actual gutter installation.

You must have gutters cleaned and assessed by a plumber for adequate fall.

Also regularly clean to prevent ponding, as ponding water will contribute to rust

Answer **Downpipes not connected**

Not all downpipes are connected to a stormwater system.

See a plumber to have connected

This has potential to cause differential settlement to the footings, cause rising damp and is also conducive to an increased risk of termite infestation.

This could lead to being a major defect because of the potential problems relating to excess water within the sub floor.

Answer **Downpipe joins leaking**

Downpipe joins leaking, have a roofing plumber repair/seal this issue while it's a minor defect

Answer **Refer To Supplementary Text Below**

Location Rear building / pool room / storeroom

Defect Rating Minor Defect

Question [Eaves/fascias/barges; Are they free of corrosion/decay, and do they appear to be sufficiently rigid?](#)

Answer **Fascia - fungal decay**

Timber fungal decay evident.

Have carpenter repair or replace.

Answer **Barge board - fungal decay**

Fungal decay seen to be present on the barge boards.

Repairs to this area should be undertaken by a carpenter and painter

Answer **Fascia - cracked/split**

Fascia can be seen to cracked/split, this should be replaced or repaired by a carpenter.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Question Timber floor; Are bearers and joists free of deflection and sag, and free of cracks, corrosion, water stains, decay?

Answer Sag in bearers/joists is evident

Answer Cracking to timber bearer(s)

Answer Cracking to timber joist(s)

Answer Timber rot damage evident

Answer Timber borer damage evident

Answer Moisture staining in timber members

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Question Timber floor; Does the sub floor area appear to be adequately ventilated, and free of dampness?

Answer Inadequate ventilation within the sub floor areas inspected

Inadequate crossflow ventilation within the sub floor areas.

As with most older dwellings, sub floor ventilation is inadequate when compared with today's requirements.

The older dwellings have small rooms and sub floor chambers and hence there is less opportunity for movement of air within the sub floor, this is often because many homes have objects placed up against the external walls and landscaping hard up against the external walls, preventing natural air from flowing into the sub floor area

You could improve the sub floor ventilation to meet today's regulations/requirements if desired, as is advisable in older/period and brick dwellings.

You can install additional air vents which would be a days work for a handyman and costs in the realms of \$600 to \$1000

You could install a simple mechanical fan "DIY Pack" from \$600 for the equipment and an electrician can install it within a days work

Or

You could get a ventilation contractor to install a good quality mechanical fan system servicing the entire sub floor area for as little as \$1,500 and up to \$3,500 for a higher quality fan/low noise fan system

Answer Refer To Supplementary Text Below

Location Entire sub floor area of the house needs better crossflow ventilation, with the rear and side deck being built hard up against the house it's limited the volume of air entering the sub floor area

Defect Rating Minor Defect

Question

Timber floor & masonry walls; Are the floor boards & floor framing & supporting walls below the damp proof course free of dampness and decay?

Answer Timber decay evident to underside of floor boards

Answer Timber decay evident to the bearers & joists

Answer The masonry walls have dampness within the supporting walls, under the floor structure. This needs to be regularly inspected as this is not desirable, this means there is constant moisture within the sub floor area and this could lead to pest/termite infestation

The supporting masonry walls within the sub floor area have dampness within the walls under the floor structure and damp proof course

This needs to be regularly inspected as this is not desirable, this means that there is constant moisture within the sub floor foundations and this could lead to pest/termite infestation

Note :

The sewer and stormwater lines need to be tested to rule out any broken pipes within these areas

All external floors within 2 metres of the property should be sealed, all external pathways should have the surface water directed away from the house, sub floor area and the house foundations

The external walls must have no openings within the wall linings, all apertures/penetrations must be sealed so that no water entry is seen within the cavities or sub floor areas

Answer Refer To Supplementary Text Below

Location Very common issues found in period homes, no action is required

I strongly recommend a pest contractor to come and assess, report on and treat the entire sub floor area for any past or present pest activity

Defect Rating Minor Defect

Question Surface water; Does rainwater drain effectively and not pond against structures?

Answer Paving/paths - water ponding*

Paving or paths along the sides of the home require amending to fall away from the dwellings walls. See a plumber or landscaper to assess. Further investigation required.

Answer Ground/lawn against buildings - ponding

Ground and/or lawn along the sides of the home require amending to fall away from the dwellings walls. See a plumber or landscaper to assess. Further investigation required.

Answer Refer To Supplementary Text Below

Defect Rating Minor Defect

Question Swimming Pool; Do the pool coping tiles appear to be in good condition? Is there an expansion joint between the pool coping tiles and pool concourse floor finish?

Answer No

Answer Refer To Supplementary Text Below

Location The pool has cracked tiles around the pool concourse and at the end of the long tile runs

There needs to be expansion joints installed to the floor tiles and around the pool coping tiles and pool concourse

Defect Rating Minor Defect

Part 12: Other Inspections & Reports Required

Recommendations for Further Inspections:

Roof void inspection to the rear building / structure

Pest inspection and report plus site treatment

Part 13: Cracking to Building Members

Is there cracking to the Core Building fabric: . Note **No**
Building members are core members to the
dwellings (not cosmetic or finish linings as these are
easily repaired and no advice is required by an
engineer)

Sample

Part 14: Conclusion & Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered:

Low

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered:

Low

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

Above Average

Overall Condition Comments:

This house is in good to very good condition for its age.

Structurally, there are no issues to report on, there are minor cracks / issues within the house typical for a lime mortar brick home and sandstone block foundation property within this location of Sydney

There are no safety issues that need to be urgently addressed, the side stairs should have a grab rail and additional smoke alarms should be installed

I see this home as a low risk purchase for any party wishing to acquire this property subject to the conditions noted within this report

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

We take this opportunity to thank you for your instructions and we look forward to working with you again.



Emilio Calandra
The Property Inspectors

Definitions

High: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Low: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Major Defect: Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect: Any Defect other than what is described as a major defect.

Accessible area: is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Sample

Part 15: Pests

Termites

Were active (live) termites found?

No visible evidence of active termites found at the time of inspection in the areas that were able to be inspected and noted within this report as inspected

Is a Subterranean Termite Management Proposal recommended?

Although this consultant is not engaged to provide a termite management proposal, a full written proposal is strongly recommended. Please contact a licensed pest control operator for further advice. This recommendation should be implemented as a matter of urgency., Due to the sub floor not being accessed within this inspection, we cannot comment if this home requires a Subterranean Termite Management Plan, but it's always a good idea to have one carried out prior to buying a home and to have your house inspected every six to nine months

Was evidence of termite workings or termite damage found in the areas that you inspected today or could gain access to within this inspection?

No visible evidence of termite workings or termite damage was found at the time of inspection in the areas able to be inspected.

Was any evidence of timber damage visible?

I have claimed that I have not seen any timber damage due to termite activity within this property

NOTE:

If the inspector claims he has not seen any termite activity within the areas that he has inspected, this does not mean that there are no termites within the home

The inspector does not lift the roof insulation batts, nor can he inspect all timber junctions and timber members within the roof voids, sub floor areas or within the wall cavities due to limited access and limited time available to inspect this property for this pre-purchase inspection and report.

In some cases the vendors belongings can conceal current and past termite activity.

We strongly recommend a pest contractor assess and chemically treat the property prior to the house being purchased, this will give you a twelve month warranty over the property and it will give you a firm security over the property prior to you investing in it

Was evidence of a possible previous termite management program noted?

No

Next inspection recommended in

Six Months

Chemical Delignification

Was evidence of Chemical Delignification found?

No Chemical Delignification was found

In the past this type of timber damage has been referred to using many different terms, Hairy Timber or Defibrosis.

In the early 1990's it was agreed that the true description of this type of timber deterioration is Chemical Delignification.

This term describes the deterioration in its true form, the lignin in timber is damaged by airborne chemicals.

Lignin is the natural glue that holds the fibres of wood together and is therefore a major component of any wood. When the lignin is broken down or damaged the fibres then detach from each other creating a visible hairy surface to a section of the timber, as the delignification progresses the structure of the timber section is weakened and therefore chemical delignification is regarded as a structural pest of timber in service.

Chemical Delignification damage is most commonly found in timber sections used as roof tile battens of buildings that are located in close proximity to the sea, large chemical factories or major arterial roads that have heavy traffic.

Buildings close to the sea are exposed to salts brought to land by wind and sea breezes and dwellings within five kilometers of the sea are often found to have chemical delignification in their roof tile battens.

Buildings surrounding chemical factories that have chemical delignification would indicate that the air quality where this building is located is influenced by the chemical production process and/or use of chemicals by the adjoining industry. The cost of repair of the chemical delignification damage would need to be taken into account when this damage is found but it also would be prudent to consider the possibility that the air quality in the area may be affected by chemicals and therefore if any health hazards are present that could cause long term damage to an occupants health.

Buildings found to have chemical delignification that are in close proximity to a major arterial road would often be affected by fumes from vehicles using the adjoining roads.

Chemical delignification generally will not occur to

timbers in service that are sealed, painted or well oiled as the lignin is protected from airborne chemical substances.

Therefore as with most timber damage if we can remove the cause of the damage or protect the timber from exposure to the cause of damage the damage will cease. If the damage is initiating, the timber section can be painted or oiled to stop further deterioration, where the chemical delignification damage is advanced then replacement of the damaged timbers is needed.

When chemical delignification is found in roof tile battens or rafters then it is recommended not to have persons walk on the roof as collapse may occur and therefore a fall could cause bodily injury.

Chemical delignification is more common in species of softwood timbers although certain species of softwood are more prone to damage than others.

Chemical delignification may only occur after timbers have been exposed to airborne substances for a relatively long period of time, it is not common to find chemical delignification in buildings that are younger than ten years.

The most common timber species that is used in buildings in the Sydney area that we find damaged is the Douglas fir otherwise known as Oregon. Douglas fir is an imported timber species that originates in Northern America and Canada.

Wood Borers

Was evidence of Wood Borers found?

No

Fungal Decay

Was evidence of Fungal Decay found?

Fungal Decay to Timber In Service

The reproductive spores of a mould fungus and the vegetative threads (mycelium) of a wood decay fungus, the latter usually white, if present in sufficient quantities, can be seen with the naked eye. However, vegetative growths of wood decay fungi may be cream, brown or black.

Wood Decay fungi prefer to grow where conditions of temperature and moisture content are not subject to fluctuation. For timber out of ground contact, such a stable situation is more often deep in the wood than on the surface. When the fungus has exhausted the available nutrient from the timber, new growth is supported by feeding on the older growth and so the fungus

may grow on other surfaces away from the timber leaving very little visible evidence of fungal growth on the wood itself. Soft rot fungus for example.

Types of fungi that damage timber

Not all fungi are capable of damaging wood. Furthermore, not all fungi that can grow on or in wood are capable of damaging the wood structure itself. Very few species of fungi are to be found on or in timber. Mould fungi are found only on the outside of timber but do no damage. Sapstain fungi consume only the sugars from sapwood and cause no change in the relevant strength properties of the timber. A few species of wood decay fungi damage the cellulose component of timber only; other species damage both the lignin (plastic) and cellulose components.

Types of Decay in Australia

In general, decay of floor boards is caused by brown rot fungi, decay of window joinery by either brown rot or white rot fungi and decay of weatherboards often by white rot but sometimes by brown rot fungi. House stumps and fence posts decay from soft rot but may also have either brown or white rot. *Serpula lacrymans* (formerly *merulius lacrymans*) is the world's most destructive fungal decayer of timber in buildings. This brown rot fungus has an optimum temperature for growth at 20 degrees C (c.f. most wood decay fungi 25-28 degrees C). Consequently, this fungus causes widespread damage in poorly ventilated sub floor areas in buildings in Sydney where sub floor areas may be protected from the extremes of external temperatures. Probably as a result of high external temperatures, a species of conioophora (also causing brown rot) is believed to be the commonest house timber decay fungus in Australia.

Location: Front of the house roof gables / fascia and garage and gable timber trimmings

Severity: Minor

Conductive Conditions

Was evidence of a lack of adequate sub floor ventilation found?

Yes

Location: Entire site

Was evidence of the presence of excessive moisture found?

Damp sub floor soils need to be improved, extra ventilation holes need to be installed and sub floor drainage needs to be improved, this should be rectified as these conditions are highly conducive to timber pest attack and should be rectified by an authorized tradesperson., Water is pooling on the soil adjacent to the building structure.

This maybe due to a drainage problem or some other factor.

This should be rectified as moist soil conditions are highly conducive to timber pest attack, ideally contact a plumber for their opinion. , Poor sub floor ventilation and drainage needs to be improved

This should be rectified as these conditions are highly conducive to timber pest attack., Damp soil conditions abutting the building structure.

This maybe due to a drainage problem or some other factor.

This should be rectified as moist soil conditions are highly conducive to timber pest attack., The faulty storm water downpipe(s) should be repaired so that it does not cause excessive moisture

Excessive moisture conditions are ideal for timber pest attack., The faulty guttering should be repaired so it does not cause excessive moisture

Excessive moisture conditions are ideal for timber pest attack., Contact a licensed plumber to determine if the drainage is sufficient

Due to the slope of the land towards the structure, this may cause drainage issues in rainfall.

Was the finished ground or paving level above the adjacent internal floor level or damp proof course, or obstructing any weep hole/vent face on the external walls?

The level of some external soil/concrete paths/ paved areas is either higher than, or at a similar level than, as that of the internal floors.

This situation may allow or have allowed concealed termite entry and also may cause drainage issues.

We strongly recommend the lowering of concrete and/or soil to that area(s) below the internal slab/ floor level to reduce the risk of concealed termite entry and drainage issues., External cladding is in contact with concrete/soil, this may allow or have allowed concealed termite entry and we recommend modifications be made so that the concrete/soil is not in contact with the cladding., Finished soil/concrete levels are in contact with the ant capping shield to the structure

We recommend the soil levels be lowered to a minimum of 75 millimetres below the ant capping shield and/or a chemical treatment be installed to rectify this problem. , Garden beds close to or abutting the external walls of the structure and have breached any previous barriers.

These can allow concealed termite entry into the structure, we recommend the removal of these gardens and termite treatment to rectify., Gravel placed against the external walls of the structure.

We recommend the lowering of these gravel to 75 millimetres minimum below the weep holes,

Concealed weep holes, where weep holes are partly or fully covered by such things as paths, patios, pavers, lawn, soil, gardens, etc, they may allow concealed termite entry into the structure.

Weep holes are installed in external brickwork to allow water penetrating the wall to leak back

outside the structure.

The weep holes have been either partly or fully covered.

Apart from preventing water from escaping, this may allow concealed termite entry into the external walls (this may already be the case).

The termites may not be detected until they cause damage either to the inside of the structure or to the roof void timbers.

You should obtain written details of any termite barrier that may have been installed to prevent the concealed entry point.

If no such barrier has been installed or the expected life span of the barrier has passed or is about to pass, then you should arrange for the weep holes to be exposed or a termite barrier to be installed., The sub floor vents have been partial covered by an exterior element, either soil or concrete slab. This limits the air flow to the sub floor space not allowing it to dry which will see potential from pest attack.

Was evidence of Bridging or Breaching, including the condition "insufficient slab edge exposure" found?

Concrete slabs/paths placed against the external walls of the structure.

This has concealed the face of the slab

We recommend the lowering of these slabs/paths to 5 millimetres below the slab edge or the use of a chemical termiticide treatment as an alternative method if no treatments were made, or if the life expectancy of the treatment has expired or nearly expired., Typical cracks and/or joins in concrete floors can allow termites to pass through.

, Typical cracks and/or joins in brickwork can allow termites to pass through., Exposed footings For termite barriers to be effective, treated soils must cover the footings. We recommend a management program to this building because of this condition.

Was evidence of any other condition conducive to timber pest attack found?

Units such as hot water systems, gas bottles and air conditioning units are against the external walls and severely restricted the inspection, these should be removed as they may be concealing timber pest activity and/or damage.

No comment is made where access was not achieved., Some external timber(s) are in contact or in close contact with the concrete/soil. This may allow or have allowed concealed timber pest activity and/or damage. The situation should be modified so that timber to ground contact does not occur. A clearance of at least 75 millimetres is recommended., External cladding is in contact with concrete/soil, this may allow or have allowed concealed termite entry and we recommend modifications be made so that the concrete/soil is not in contact with the cladding., Decking timbers are in contact with the soil and may allow or have allowed concealed timber pest activity and/or damage

These should be modified so that timber to ground contact does not occur., Landscaping timbers abutting the external areas of the dwelling, these should be removed as they may be concealing timber pest activity and/or damage and are highly attractive as a food source. It is not possible to fully inspect these timbers and they may be concealing timber pest activity and/or damage. This will only be discovered when the timbers are removed., The sub floor/decking area is considered a high risk area due to excessive stored items that restricted the inspection. Access is considered essential as it could be harboring timber pest activity and/or damage. No comment is made where access was not achieved., Stair timbers are in contact with or are in close contact with; concrete and/or earth. You must arrange to either remove, or modify so this does not occur. Timbers in ground contact or in close contact to earth may allow concealed access for termite activity. A minimum clearance of 75 millimetres is recommended., Rusty and/or faulty ant capping. Ant capping should be kept in good order to be effective. Contact a builder to inspect and determine if it needs replacement or use a termite shield barrier to rectify as an alternative method. Ant capping is missing below the front stairs. We recommend this is modified so that this does not occur.

Obstructions

Which of the following areas were NOT able to be inspected

Grounds, Fences, Landscaping, Stumps, Retaining Walls, The roof void of the house has not been inspected in full

We therefore exclude this entire area from our assessment and our report

We take no responsibility or liability for this portion of the property , We could not gain access to the roof void and we therefore exclude the entire roof void from our assessment and this report , We gained access to the subfloor area IN Part only

Due to restricted access / spaces within the subfloor area we could not inspect all subfloor chambers within the subfloor area

We therefore could not access and report on ALL AREAS and nor do we know the conditions of the entire subfloor floor area and we therefore exclude the entire subfloor area of this property from this report (Building and pest report)

Readily Accessible Areas Inspected

Interior, Exterior

Are there any areas and/or sections of the building to which access should be gained? **Yes, Subfloor areas, Yes, Roof voids**

Summary

Were active subterranean termites (live specimens) found? **No - Read the Report in Full**

Was visible evidence of subterranean termite workings or damage found? **No - Read the Report in Full**

Was visible evidence of borers of seasoned timber found? **No - Read the Report in Full**

Was evidence of damage caused by wood decay (rot) fungi found? **Yes - Read the Report in Full**

Are further inspections recommended? **Yes - Read the Report in Full**

Were any major safety hazards identified? **Yes - Read the Report in Full**

At the time of the inspection, the DEGREE OF RISK of subterranean termite infestation was considered to be **Medium**

Recommendations

Do you recommend a subterranean termite treatment program? **Yes**

Do you recommend that future inspections be carried out, and at what intervals? **Half-yearly**

Do you recommend that a separate, more invasive inspection be carried out? **Yes**



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