



The Property Inspectors

Residential Pre-Purchase Building Inspection Report

Complies with Australian Standard AS 4349.1-2007

Inspection of Buildings Part 1: Pre-Purchase

Inspections Residential Buildings - Appendix C



Client: Tim Foote

Property Address: 22 Redan Lane Mosman

Date of inspection: 05/03/2021



The Property Inspectors

Mob: 0411 880 588

Address: 80 Victoria Rd Drummoyne NSW 2047

admin@thepropertyinspectors.com.au

Ph: +61 2 9181 5989

Mail: PO Box 290 Hunters Hill NSW 2110

www.ThePropertyInspectors.com.au

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Results of Building Inspection - Summary

A Summary of the inspection is below:

| | Found | Not Found |
|---------------|-------|-----------|
| Safety Hazard | ✓ | |
| Major Defect | ✓ | |
| Minor Defect | ✓ | |

Please refer to the report for explanations.

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is GOOD CONDITION - 8 out of 10.

Results of Pest Inspection - Summary

| | |
|--|--|
| *** S. 168. WERE ACTIVE SUBTERRANEAN TERMITES (LIVE SPECIMENS) FOUND? | No, read the report in full |
| *** S. 169. WAS VISIBLE EVIDENCE OF SUBTERRANEAN TERMITE WORKINGS OR DAMAGE FOUND? | No, read the report in full |
| *** S. 170. WAS VISIBLE EVIDENCE OF BORERS OF SEASONED TIMBER FOUND? | No, read the report in full |
| *** S. 171. WAS EVIDENCE OF DAMAGE CAUSED BY WOOD DECAY (ROT) FUNGI FOUND? | Yes, read the report in full |
| *** S. 172. ARE FURTHER INSPECTIONS RECOMMENDED? | Yes, read the report in full |
| *** S.173. WERE ANY MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY? | Yes, mid range issues / typical for a house of this age, read the report in full |
| *** S. 174. AT THE TIME OF THE INSPECTION, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE: | High |

Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered:

Typical

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered:

Typical

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

GOOD CONDITION - 8 out of 10

Overall Condition Comments:

This property is well built and maintained to a high standard for the age of the property, This property is beautifully presented and maintained, a true reflection of the love and commitment from this owner or previous owners, This property needs minor repairs carried out to it once you have moved into the property, I saw no water entry within the Core Fabric of the building (Internal Walls, Floors & Ceilings), The property has NO MAJOR Structural Cracks at the time of this inspection, There are minor compliance issues that need to be addressed within the property for the safety of the occupants, There are a number of compliance issues that should be addressed for the safety of the occupants or their visitor, I saw no current pest inspection sticker within the electrical meter box or within the kitchen cupboard doors, it is best to have this house inspected and sprayed / treated every 6-9 months, The external handrails and balustrade are not compliant with current regulations, for the best interest of the occupants and visitors this area of the house should be made compliant with current regulations to limit liability, The property should have the bedroom windows made compliant with current fall protection regulations, This property has wet and dry rot in a number of timber members, I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing, I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available, I saw no past or present pest activity within this property, I see little risk in purchasing this home it in current conditions subject to the buyer having read this entire report and they understand the areas of improvement and noted within each component of the property that are required to be made good or upgraded, This property is in GOOD condition for its age

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

Part 1: Purpose and Scope of Inspection

This report complies with Australian Standard AS4349.1 - 2007 Inspection of Buildings, Part 1: Pre Purchase Inspections - Residential Buildings.

Inspection Agreement - Individual title property

Requirement for Inspection agreement AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

Purpose of Inspection

The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

Important Information and Disclaimer

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Pre-Purchase Building Inspection Report, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion and risk of doing physical damage to the property being inspected. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection. This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future. This report does not include the identification of unauthorised building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent. It is not intended to detail each and every individual minor defect or imperfection. This service is provided on an independent professional basis. It seeks to present a factual, unbiased and balanced assessment. We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

Scope of Inspection

The inspection comprised a visual assessment of the property to identify major defects and safety hazards, and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

What is reported on:

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.
- The following areas shall be inspected where applicable:
 - The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
 - The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
 - The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and bargeboards
 - The roof space: roof covering; roof framing; sarking; party walls; insulation
 - The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
 - The property within 5m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps; fencing (excluding swimming pool fences); surface water (drainage effectiveness)

What is not reported on:

- general exclusions detailed in the standard AS 4349.1 - 2007
- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.
- Specifics excluded by the standard AS 4349.1 - 2007 Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde, timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

Special Requirements

It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor & a structural engineer carry out an assessment of the structural integrity of the property.

This report is limited to (unless otherwise noted) the main structure on the site and no other building, structure or outbuilding within 5m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers." Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Dimensions for Reasonable Access

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Part 2: General Comments and Weather Observations

Question S. Weather conditions at the time of inspection

Answer Clear & sunny

Special note :

We have been engaged to inspect this property at the requested date and time by the commissioning party

In some events we do not have opportunity to gain full access to all areas as they are locked or unavailable at the time of the inspection

In some events we are unable to inspect all areas due to the loss of natural daylight or the sun setting whilst we are surveying the property

We often lose the natural daylight whilst the inspection is in progress and therefore our assessment and report is limited due to the reduced visibility and access within the property

We do our best to carry out this inspection by using a flashlight, this limits our ability to carry out a detailed and comprehensive assessment of the property.

We do not carry any responsibility in the event that we have missed any area that is vital in creating this report due to the lack of natural daylight or if access to the property was reduced due to limited areas being available to us at the time of the inspection

Our reports and working conditions are in line with Work Health & Safety Regulations

We encourage the reader or the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the property are seen and reported on.

We Do Not Take Any Responsibility For Any Aspect Of The Property If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection

Question S. Recent weather conditions

Answer Light rain, In the past seven days

Due to recent inclement weather in the past seven days, it is not unusual to see the subfloor area of the property to be damp or wet

This does not mean that the subfloor ventilation is inadequate, though the area should be monitored and re-evaluated once the wet weather has passed

Question S. Date & Time Inspection Commenced

Answer 2021-03-05 16:00:00

Question S. Is the building furnished?

Answer Yes (Normal level of furniture and belongings found within the property)

We do not move the Vendor / Tenants belongings when we carry out our inspection

We do not move nor touch objects within the property

For Example:

We do not move any objects in the following areas, nor do we look at nor report on the conditions of the property, if they are obstructed by the vendor or tenant's objects / belongings stored within the following rooms, and not limited to these rooms and objects:

1. We do not look behind bed heads, nor beds when they are up against a wall or two walls within the room
2. We do not look at the walls and floors which are covered by furniture or objects stored or placed up against the walls and floors
3. We do not look at the walls and floors which are covered by portable cupboards / furniture / tables
4. We do not look behind nor move curtains, blinds or fixed or loose shutters
5. We do not look behind nor move goods within robes / walk-in robes / linen cupboards / stairwells / kitchen and laundry cupboards / vanity units
6. We do not look behind nor move goods found in the garage or storeroom
7. We do not look behind nor move goods within the roof voids
8. We do not look behind nor move goods within the subfloor areas

If a defect is hidden behind or in these areas due to an obstruction we don't report on them nor do we take responsibility for including these defects within our report

Question

S. The following areas were NOT inspected within the property? I strongly recommend that you have these areas inspected in full prior to buying this property if you want a full and comprehensive assessment of the property

Answer

Please Note: I could not inspect ALL AREAS within this property today. I did not inspect the following areas as noted below :

I could not inspect all areas of the property today

The areas noted below are excluded from our report, you cannot rely upon any facts within this report for these areas, even if I make comment to them in this report, as I may have been able to inspect the areas in question IN PART BUT NOT IN FULL.

As I could not inspect the areas in FULL, I, therefore, make the entire area(s) excluded from our report

I strongly recommend the commissioning party or the reader of this report request that the vendors or their agent make the following areas available to be inspected/re-inspected once access is created

We encourage you to re-engage our office to carry out a second inspection to include the non-inspected areas, an additional fee is applicable for a second inspection

The areas not inspected in full nor included in this report are:

Answer

Roof void due to minimal crawlspaces / access within the roof void

The roof void has tight and restricted areas within this roof, making it impossible for me to inspect all aspects of the roof void

Answer

Roof void as it was lined on the underside of the rafters

Answer

Roof tiles due to height restrictions

This property has roof tiles / roof elevations higher than allowed within current regulations

I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, the safe use is 2.7m in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.

Answer Roof plumbing due to height restrictions

This property has roof plumbing (gutters, valleys, flashings, cappings, box gutters, downpipes) / Roof elevations higher than allowed within current regulations

I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, the safe use is 2.7m in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations

Answer Subfloor, no openable access hatch to the subfloor area was found on the day of my inspection

Answer Subfloor area, due to excess personal belongings stored within the subfloor at the time of my inspection

The subfloor area was not able to be accessed / inspected in full at the time of this inspection

Answer First floor, floor structure, as there was no suspended ceiling / access hatch on the ground floor to access and inspect the first floor, floor joists

Answer Partial access to the subfloor area, due to limited space within the subfloor area, I was unable to gain access to all areas of the subfloor area and this portion of the property is excluded from my report

I had limited access to the subfloor area within this property, due to no / limited access and missing access hatches found on site, nor did I have appropriate crawlspace within the subfloor area meeting Australian Standards access regulations

Access hatches must be 400mm x 500mm, with 600mm x 600mm minimum crawlspace, within the entire subfloor and therefore this area was not inspected on this basis

NOTE

If the subfloor area is commented on, it's on the basis of the inspector viewing the subfloor in part only

If the subfloor area is not inspected in full such as this inspection/property, I will still comment on what was seen at the time of this inspection and any comments are made against the area/s that were inspected, this doesn't mean the report is covering the entire subfloor area, it means we have assessed and commented on the one subfloor chamber as you enter the subfloor, and the remaining areas are excluded from our assessment and this report and you cannot rely upon this report for the other subfloor areas that were not inspected.

I was unable to inspect the entire subfloor area within this property, therefore, the entire subfloor condition is not inspected nor reported on nor can you rely upon this report covering the subfloor area

Answer Partial access to the roof void area, due to limited space within the roof void area, I was unable to gain access to all areas of the roof void and this portion of the house is excluded from my report

If I make any comments within the roof void section within this report they are *Passing Comments* on the basis that I could see the roof void in part but not in full

This roof void was not inspected in full, but in part only, deeming this roof void as a whole being excluded from this report due to no access to the entire roof void

| | |
|-----------------|--|
| Answer | <p>Partial access to the roof tiles & roof plumbing due to height restrictions, I was unable to gain access to all areas and this portion of the house is excluded from my assessment and this report</p> <p>I had partial access to the roof tiles, gutters and valley iron as well as flashings and cappings</p> <p>Any comment made is a passing comment made from observation from afar or from overlooking windows or from a zoom camera</p> <p>I did not access the entire roof elevation, making the roof tiles, gutters, valleys and flashings excluded from this report</p> |
| Answer | <p>Partial access to the roof sheeting & roof plumbing, due to height restrictions, I was unable to gain access to all areas and this portion of the property is excluded from my report</p> <p>I was unable to access the roof in full, I accessed the roof in a small portion due to WH&S regulation</p> <p>I had partial access to the roof sheets, gutters, valley iron, flashings, and cappings</p> <p>Any comment made is a passing comment made from an observation from afar or from overlooking windows or from a zoom camera</p> <p>I did not access the entire roof elevation making the sheets, gutters, valleys, flashings excluded from this report</p> |
| Answer | <p>Once access to the areas noted above are made available by the vendor / listing agent, we strongly recommend that you re-engage our office for a second inspection to have the areas not inspected in full, inspected and reported on within an amended / updated report</p> |
| Answer | <p>Refer To The Supplementary Text Below</p> |
| Area | <p>Below the solar panels on the roof top of the garage</p> |
| Question | <p>S. Due to excess belongings present at the time of the inspection we were not able to assess in full the following areas:</p> |
| Answer | <p>Excess goods were found within the linen cupboard, laundry cupboard, wardrobes / walk-in robes, kitchen cupboards & pantries</p> <p>Once the vendor / tenants belongings are removed within these areas we will be able to inspect and report on the condition of these areas</p> |
| Answer | <p>Excess goods were found in the garage</p> <p>Once the vendor / tenants belongings are removed within the garage, we will be able to inspect and report on the condition of this room / space</p> |
| Answer | <p>Excess goods were found in the subfloor area</p> <p>Once the vendor / tenants belongings are removed within the subfloor area we will be able to inspect and report on the condition of this room / space</p> |
| Question | <p>S. The original report was commissioned by the?</p> |
| Answer | <p>Real Estate Agent office</p> |

Question S. This report from the date of inspection is valid for;

Answer **28 Calendar Days**

Question D. We assume the property is occupied by?

Answer **Vendor**

Part 3: Description of Building

Question S. Type of Building

Answer **Residential**

Question S. Approximate age of the Original Building, NOTE: The buyer must do their own investigation to confirm the age of the property and the last known renovation/extension dates as this could be vital if Home Owners Warranty is applicable and available on this property

Answer **Approximately 30-50 years old**

No Home Owners Warranty is available for this property if it's older than six years old

Your solicitor must do their own investigation to confirm if this is the case or not (we only assume the age of the house)

If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out.

We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder / Developer / Owner Builder prior to the settlement of this property

Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer / the owner of the property a warranty for the period of two years and / or six years against all defects from the date of the Practical Completion of the project

Question S. Roof Covering

Answer **Metal deck roof sheets**

Answer **Tile roof**

Answer **PVC / plastic roof sheets**

Answer **Refer To Supplementary Text Below**

Question S. External Walls

Answer **Rendered masonry walls**

Answer **Sandstone Walls / Blockwork (walls and cladding)**

Question S. Floor Construction

Answer Slab on ground or raft concrete slab

Raft slab on ground construction requires the edges of the slab visible for periodic pest inspections

Pest inspections should be carried out every six to nine months to monitor any potential pest activity

The exposed concrete edges and slabs should be inspected and reported on every twelve to fourteen months for concrete cancer or any deterioration of the concrete slabs

Answer Suspended concrete slab

This property has a suspended concrete slab which has been limited for assessment due to location along with floor and ceiling coverings

Any exposed concrete edges or slabs should be inspected and reported on frequently for concrete cancer or any deterioration of the concrete slabs

Answer Timber flooring on timber framing

Timber floor covering on a timber structure can be a combination of hard or softwood joists covered with plywood, particle board flooring, hard or softwood strip flooring

All floor framing should be inspected and treated every six to nine months for pest activity

Answer External timber deck

Timber decks require periodic maintenance including cleaning and oiling / painting to ensure their longevity

If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use, the longevity of this item would be compromised

If at the time of inspection, access beneath the deck is unavailable, it is assumed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required

All floor framing should be inspected and treated every six to nine months for pest activity

Answer External timber deck & timber staircase

Timber decks require periodic maintenance including cleaning and oiling / painting to ensure their longevity

If timber members have been oiled, painted or stained it cannot be confirmed if they are fit for purpose for exterior use, if items are not suitable for exterior use the longevity of this item would be compromised

If at the time of inspection, access beneath the deck is unavailable, it is assumed that the structure has the appropriate ground clearance to meet required regulations, further investigation would be required

All floor framing should be inspected and treated every six to nine months for pest activity

| | |
|-----------------|--|
| Answer | External pavers / tiles |
| | This home has pavers applied to the external floor linings, which need to be maintained |
| Answer | External concrete pathways |
| | This property has concrete pathways around the property |
| Answer | External concrete stairs |
| | External stairs are formed concrete |
| Answer | Internal concrete stairs |
| | The Internal staircase within this property is built out of concrete, a suspended concrete stair with applied finished linings |
| Answer | Internal timber staircases |
| | The internal staircase within the property is made of timber |
| Question | S. Outbuildings |
| Answer | Swimming pool |
| Answer | Garage |
| Answer | Tennis courts |
| Question | D. Roof Frame |
| Answer | Timber hand pitched roof |
| Answer | Flat skillion roof |
| Question | D. Roof Pitch (approximate degree of steepest roof pitch) |
| Answer | 25 - 30 degrees |
| Question | D. Number of Storeys |
| Answer | Two storey building |
| Question | D. Style of Building |
| Answer | Non period building |
| Question | D. Footings |
| Answer | Slab on ground |
| | Slab on ground has the footings combined within the slab structure |
| Answer | Concrete pad footings |
| | Concrete pad footings appear to be in place supporting piers and the floor / wall structure above |
| Answer | Concrete strip footings |

The outer and inner walls of the property appear to have the walls built off the concrete strip footings

Answer **Sandstone blockwork**

The property is founded off sandstone blockwork.

Answer **No access to the subfloor, the true type of footings are unknown due to no access at the time of our inspection**

The true type of footings are unknown as there was no access to the subfloor area at the time of the inspection, and our assumptions above are based upon experience, not on facts

No access was available at the time of the inspection to the sub-floor areas, we, therefore, have the entire subfloor areas of the property excluded from our assessment and this report

If you would like an assessment of the subfloor area, access hatches/s must be created so we can access this area so that we can inspect and report on the conditions of the subfloor area

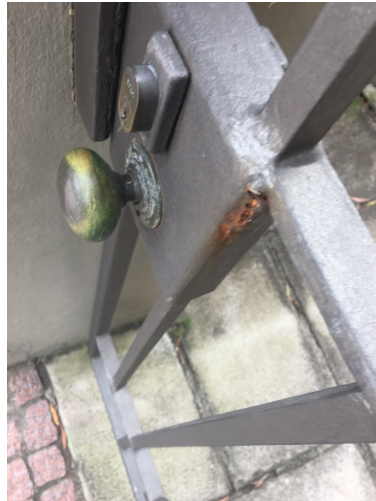
Question **D. Type of Structure**

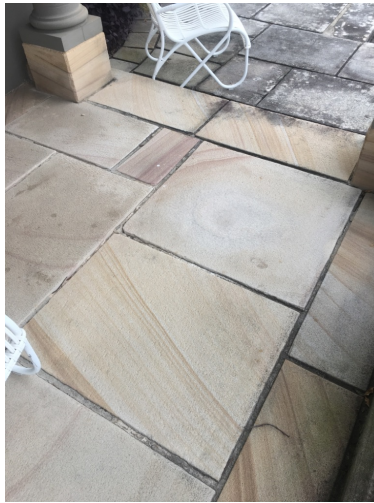
Answer **House**

Question **D. Front of Building Faces (approx)?**

Answer **West**

General Photographs:









Part 3a: Areas Inspected

- Interior of Building
I have Inspected the internal spaces within the property.
- Exterior of Building
I have inspected the external elevations of the building.
- PARTIAL Roof Exterior
I have only inspected the roof in part - Partial Roof Exterior.
*We have not been able to inspect this entire area due to limited access at the time of the inspection
*This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property
*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.
- PARTIAL Sub Floor Space
We have not been able to inspect the entire subfloor area due to limited access at the time of the inspection
*This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property.
*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.
- PARTIAL Roof Void/Roof Space
I have Inspected the roof void in part, Partial Roof Void/Roof Space.
*We have not been able to inspect the entire roof void within this property due to limited access at the time of the inspection
*This means that this entire roof void of the property is not assessed nor reported on, nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property.
*If these areas need to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.
- - The Entire Site (Within 30m of the main structure)
I have inspected the entire external site within 30m of the main structure.
*All other objects/structures or assets outside the 30m radius is not inspected nor assessed nor reported on within this report.
- - Pool (You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1)
I have inspected the following aspects of the pool.
*NOTE: We do not comment on the compliance of the pool fence or gate or any matter other than the condition of the asset.
*We comment if the pool has a pool fence
*We comment if the pool gate self-closes
*We comment on the pool concourse
*We comment on the pool coping tiles
*We comment on the pool expansion joints
*We comment on the pool structure
*We comment on the pool skimmer box

- *We comment on the pool internal linings
- *We comment on the equipment condition
- *We comment on the pool equipment enclosure.

If you have not paid for this additional service/report, the above aspects of the property will not be included within your report that you have received

Should you want this section added to this report it will you a further \$100 Plus GST, and our findings will be integrated within your new report

- - Electrical (You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1)

We inspected the following aspects of the electrical fit out

*NOTE: This is not an assessment carried out by a qualified electrician

- *We inspected and comment on the light fittings
- *We inspected and comment on the electrical fixtures
- *We inspected and comment on the smoke alarm
- *We inspected and comment on the sub-board
- *We inspected and comment on the meter box/board.

If you have not paid for this additional service/report, the above aspects of the property will not be included within your report that you have received

Should you want this section added to this report it will you a further \$100 Plus GST, and our findings will be integrated within your new report

- - Plumbing (You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1)

We inspected the following aspects of the plumbing trade

*NOTE: This is not an assessment carried out by a qualified plumber

- *We inspected and comment on the plumbing fittings
- *We inspected and comment on the plumbing fixtures
- *We inspected and comment on the sanitary ware that has running water
- *We inspected and comment on the sanitary ware that has drainage lines or drainage points.

If you have not paid for this additional service/report, the above aspects of the property will not be included within your report that you have received

Should you want this section added to this report it will you a further \$100 Plus GST, and our findings will be integrated within your new report

- - Tennis court
- - Visual Asbestos Assessments (You will need to pay extra for this trade as its not included within Australian Standards - PrePurchase Inspections of Buildings Part 1)

We inspected the following aspects of the property for asbestos

*NOTE: This is not an assessment carried out by a qualified asbestos consultant, but a report produced by a qualified builder with in excess of 30 years experience within the building industry

- *We inspected the external & internal wall linings
- *We inspected all roof plumbing and associated roof linings that were available on the date of inspection
- *We inspected all eaves and soffit linings

If you have not paid for this additional service/report, the above aspects of the property will not be included within your report that you have received

Should you want this section added to this report it will you a further \$100 Plus GST, and our findings will be integrated within your new report

Part 4: Interior of Building

| | |
|----------|--|
| Question | S. 1. **SUMMARY OF THE DEFECTS FOUND WITHIN THE INTERNAL ELEVATIONS |
| Answer | Summary Of Defects and Possible Issues, that you should be made aware of about this property |
| Summary | <p>There is minor wood rot within the internal doors and window frames</p> <p>Minor repairs and adjustments are required to the timber windows and doors so they operate smoothly</p> <p>All bathrooms do not have silicone to the wall and floor tile junctions and vertical wall tile junctions</p> <p>There are no control joints or expansion joints within the ground floor and first floor stone floor tiles / slabs that are installed that span 6m or greater in one length / run</p> <p>There are no slip-resistant measures applied to the timber staircase leading off the study that goes down to the subfloor area</p> <p>Within the subfloor area below the study, I was able to inspect that area in part, but not in full, due to excess personal belongings stored within this area that belong to the vendors, I saw minor moisture within the walls and floors within the subfloor area</p> <p>Once the vendor has all their personal belongings removed from the subfloor area, I strongly recommend a second inspection to find out any issues within this area</p> <p>The laundry laminate benchtop and splashback tile junction should have a bead of silicone applied to this junction</p> <p>The laundry joinery doors should be adjusted, as they strike up against each other</p> <p>There are minor cracks seen within the hallway ceiling on the ground floor</p> <p>The kitchen floor substrate is of a timber floor nature, there was no access below the kitchen floor and there were no control joints or expansion joints within the parquetry timber flooring within the kitchen area nor within the adjacent living room</p> <p>The kitchen joinery is in need of minor repairs and adjustments as the doors and drawers do not have even gaps and quirks in between each fixed and moving panels / doors</p> <p>The first floor bathroom wall tiles have vertical cracks within the tile joints</p> <p>The first floor bathrooms have cracks between the vanity stone benchtop and splashback tile junctions</p> <p>Within the ensuite, there has been a number of wall tiles removed and replaced but the tiles have not been re-grouted</p> <p>Within the roof void, there was no insulation</p> <p>Within the roof void, there were excessive electrical cables and wires installed but not neatly tacked in place</p> <p>Bathroom exhaust fans were not ducted through the roof and through the roof tiles</p> <p>Within the roof void, there is minor building waste and debris randomly found on top of the ceiling linings</p> |

Off the bedrooms there are balconies, the balconies do not have floor wastes but they only have one wall mount waste and should this waste block up water can freely enter the home, as there is minimal stepdown between the internal carpeted floors and the external floor tiles

There were a few windows with minor hairline cracks within the glass window panes

There are minor adjustments required to the internal timber doors and external French doors, as they bind on the doorjambs, and the door hardware are damaged and defective

The first floor bedroom has a window that opens that is located 100mm off the finished floor, this is a major safety hazard as a child could easily fall out of the window if the window is left open

Most of the carpet on the first floor needs to be replaced

The first floor decks off the master bedroom and outside the bedrooms handrail and balustrade detail do not comply with current building regulations, they are not 1m in height and there is rust present within the steel handrail and balustrade detail

Within the master bedroom / ensuite, there are cracks within the stone benchtop and there is no silicone to the stone benchtop and wall tile junction within the vanity unit area

All shower cubicles need to be re-siliconed

Defect Rating General Comments - These items are Minor defects with no urgency to them to be acted upon by the vendor or new owners

Question [D. 3. Ceilings; Are all ceilings free of sagging, nail popping, cracking, staining or other damage?](#)

Answer **Minor imperfections within the ceiling linings**

Minor sagging and / or minor imperfections in places, I can see there is a combination of the following:

1. Sagging of the plasterboard ceilings in various locations
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

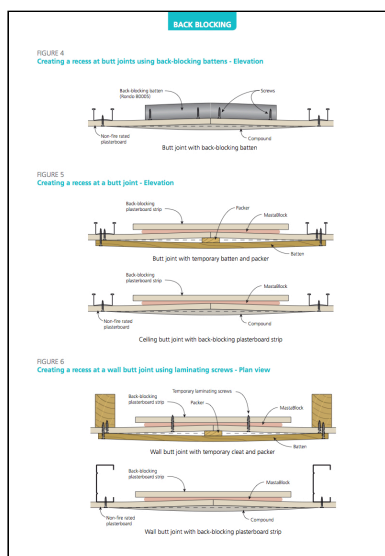
Any property beyond two years old can have cracks in the plasterboard and cornices and this will be rated a minor defect, and those defects may not all reach this report

If the property was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices

We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices

Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition

Any cracks in the ceiling linings that have roof access above could have been created by a service contractor or owner when accessing the roof void, making the cracks within the ceiling non-critical.



Question

D. 4. Walls; Are the wall linings free of bulging, nail popping, cracking, dampness/staining, vertical distortion and other damage?

Answer

Minor cracks to plaster linings, typical settlement cracks found within a building

Minor cracks were seen within the internal wall linings due to normal settlement and can be left as is

Hairline cracks in the wall linings are normal and they are normally fixed up by a painting contractor when a property is re-painted

A normal life cycle for painting a property internally is every six to ten years

Note

If the property was recently painted for sale, we will not be able to see the defects (structural or cosmetic) concealed by the recent work

Defects, if any, will normally re-appear within the next three to twelve months (in the change of seasons)

The most common periods to see cracks in walls are in the summer period when properties foundation moisture content is lowered or in the reverse if the improvements were carried out in summer, if this is the case, please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property

Answer

Minor Imperfections in the walls

Minor Imperfections - The imperfections could easily be rectified prior to the next painting.

Answer

Refer To Supplementary Text / Photos / Defect Rating

Photos



Question D. 5. Are all internal habitable rooms free of damp problems, including rising/falling damp, condensation, horizontal penetrating dampness?

Answer **Yes**

No moisture issues are seen within this property !!

Question D. 6. Floors; Are floors free of movement such as spring, bounce and or cracking, are they free of dampness/staining and other damage?

Answer **Minor spring / bounce / squeaky floor**

The flooring has minor spring and bounce, which is a typical issue within a timber floor and a building of this age

All timber floors tend to be bouncy underfoot when assessed

If the furniture begins to move when normal foot traffic is applied to the floor, a carpenter must be engaged to assess and report on the floor substructure (ground floor bearers and joists and first or second floor, floor joists) for the structural integrity of the floor

A pest contractor must inspect, report on and treat this property every six to nine months for pest activity

Good crossflow ventilation to the subfloor areas is a very important factor to maintain a healthy subfloor structure (structural members and floor coverings)

Ample air vents or a simple mechanical fan should be installed to encourage movement of air to the subfloor areas throughout the property if it does not already exist

Answer **No expansion joints installed to the floor finishes**

There are no expansion joints installed to the floor finishes

All floors must have expansion joints

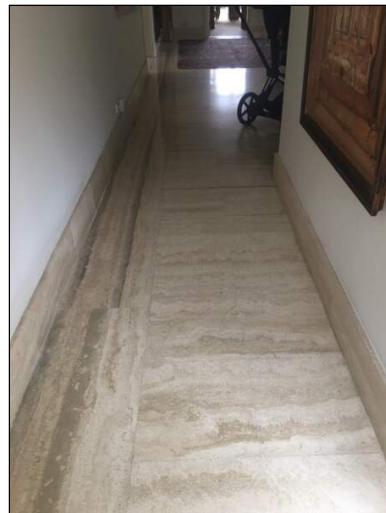
It is good building practice to have an expansion joint every 5.5 L/M in timber flooring

Expansion joints should be installed to all timber, concrete, or tiled floor finishes that have a length of 5.5m or an area greater than 5.5m squared for tiled or concrete floor finishes

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Photos



Question D. 8. Internal Doors & Frames; Do all doors and hardware operate freely and not bind on frames and are they free of decay/corrosion and other damage?

Answer **Weather damage evident to external door(s)**

External door(s) are damaged due to not being adequately protected from the weather

Answer **One or more doors bind on the frame**

One or more doors bind on the door frame

The doors require minor adjustment, and once rectified, the doors are to be appropriately protected
(Painted or stained, so they are sealed)

Answer **Minor maintenance required to the internal doors**

Minor maintenance required to internal doors and doorjambs so the doors close and lock correctly and as originally installed and designed

Answer Door hardware requires adjustment

Door hardware requires adjustments so they operate as designed

Answer Robe doors bind and need attention to have them working well and as originally designed and installed

Robe doors bind and they need minor attention to have them working well and as originally designed and installed

Answer The doors have minor moisture seen within the doors leafs entering the property via the external doors

Answer Missing door hardware

Minor defect, easy and inexpensive fix

Answer Linen cupboard doors bind on the doorjamb

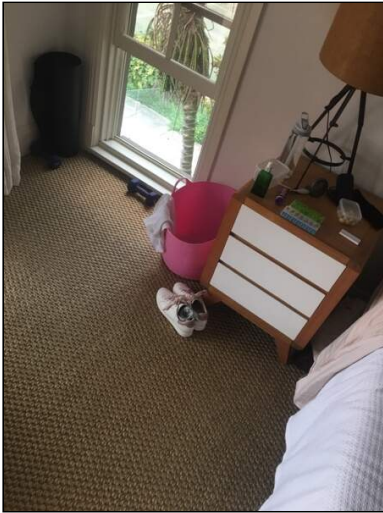
Linen cupboard door or doorjamb needs to be adjusted

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Photos





Question

D. 10. External windows & doors (Timber framed); Are all windows free of broken/cracked glass, damage to putty, staining/decay, or do they operate freely?

Answer

One or more window / door units have cracked glass

One or more windows have cracked glass panes which should be removed and replaced

Answer

One or more window / door units require maintenance

One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors

Answer

Do not operate freely or lock up the property

The windows and doors do not operate freely and a carpenter needs to work on the door / window suites so the property can be locked up

Answer

Evidence of minor rotting

Evidence of minor rotting found within the external doors / windows

Repairs and re-painting are required by a painting contractor to preserve the timber members

Answer

Hardware Missing

Window hardware is missing.

Answer Window hardware damaged / not operating

Window hardware is damaged or not operating as designed.

Answer Weather damage evident to external door(s)

External door(s) are damaged due to not being adequately protected from the elements.

Answer Weather damage evident to external window(s)

The external window(s) are damaged due to not being adequately protected from the elements.

Answer The house is old / not built nor renovated post June 2013, but there are NO WINDOW restriction locks installed, preventing a person / child from falling out of the bedroom window

I feel the house was built pre June 2013, therefore no window locks are expected to be found in this property, by law

But I recommend that you have them installed to all bedroom windows to prevent a child / person from falling out the window

Current legislation states that all new building projects / renovated homes that have windows within a bedroom, with a fall greater than 2m, the window sill height must be 1.7m from the internal finished floor level, If the windows are to open freely and greater than 125mm.

Window restrictors need to be applied to all windows that open greater than 125mm, with a fall greater than 2m, to prevent a child / person from falling out of the window if you want the old windows to comply with current building requirements

Window restriction locks can be easily installed within two minutes to most windows

Window restriction locks cost between \$1-\$10 per lock

If this house doesn't have the window locks installed when you move in, its an easy fix for any handyman homeowner

If this house doesn't have the window locks installed when you move in, I recommend that you have the locks installed yourself or by a locksmith as these locks save lives, especially with young kids when they jump on their bed or when windows are installed close to the finish floor level within a bedroom

Answer The windows need to be prepared and re-painted

Answer The doors need to be sanded back / prepped & re-painted

Answer Not all external doors and windows were able to be opened / inspected / tested at the time of my inspection

All doors and windows need maintenance and regular upkeep

Prior to purchasing this property, I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Photos



Question

D. 11. Bedroom Windows sills must be no lower than 1.7m from the bedroom floor when there is a fall greater than 2 metres from that window when the window can not open greater than 125mm (2 meters is measured from the internal floor to the outside finish floor level.) Do The Bedroom Windows Comply with CURRENT building regulations ?

Answer

No they dont, the windows do NOT comply with current regulations

The windows should be brought up to current regulations for the safety of the occupants and visitors of the property

When windows can open greater than 125mm with a fall greater than 2m, a window restriction lock should be installed

If you choose not to install window locks to the bedroom windows, it's best not to install a bed or objects near the windows in order to limit the possibility of a falling person / children from the windows

(Kids tend to jump on beds and this could be fatal if a child was to jump out / fall out of a window which has a fall greater than 2m)

Installing a window restriction lock is a quick and easy task and its inexpensive for the new owners of this property

Location First floor bedroom windows

Defect rating Minor Safety Issue / defect, as the property in my opinion was built prior to June 2013 and legislation did not deem window restriction locks as necessary at that point in time

Photos



Question D. 12. Other than bedroom windows, are the windows installed with a window at 865 millimeters or higher, from the finished floor and fixed object floor ? All internal windows within living rooms, dining, bathrooms, study, stairwell etc must not have a sill height lower than 865mm when there is a fall greater than 4 metres? does this property comply with this requirement?

Answer Yes

All Windows are compliant with current regulations

Question D. 14. Kitchen Doors & Drawer fronts; Do the cupboard doors and drawers operate freely?

Answer Cupboard doors / drawers misaligned

Cupboard doors / drawers are misaligned requiring adjustment or replacement of the hardware.

Answer Drawers swollen and binding

Drawers are swollen due to exposure to excess moisture and are binding, modifications are to be made if able, or item to be replaced

Answer Door and / or drawer hardware loose

Door and / or drawer hardware is loose and requiring adjustment

Answer The kitchen doors and drawer fronts and end panels need to be sanded back and retained

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Photos



Question D. 15. Kitchen Benchtop; Is the benchtop free of lifting, delamination, water damage or other damage?

Answer Yes

The kitchen benchtop was in acceptable condition at the time of the inspection

Question D. 16. Kitchen Cupboards; Are the cupboards free of water damage, musty odour?

Answer Yes

The kitchen cupboards were in acceptable condition at the time of the inspection

Question D. 17. Kitchen Splashback; Is the splashback free of cracking, drumminess, or loose/missing grout/sealant?

Answer Yes

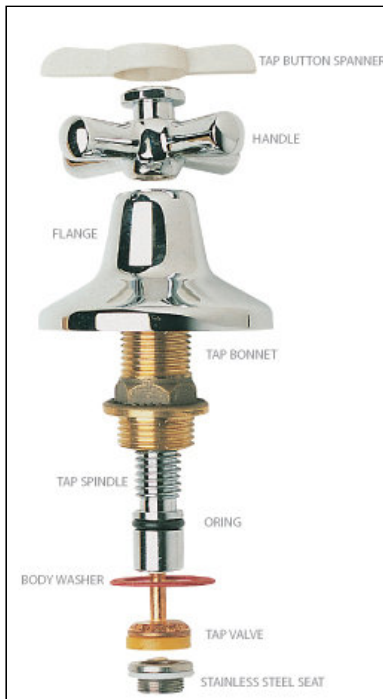
The kitchen splashback was in acceptable condition at the time of inspection

Question D/P. 18. Kitchen Sink & Tapware; Are the sink / taps free of chips, cracks and / or water leaks?

Answer Yes

The kitchen sink and taps were in acceptable condition at the time of inspection

Photos



Question D/P. 19. Kitchen Drainage: does the water drain freely? Is there a water leak found within the cupboard below the sink?

Answer Yes

The water supply to the kitchen operated and drained freely at the time of inspection

Question D/P. 20. Kitchen Water Supply; When water supply is switched on, does it operate and drain correctly?

Answer Yes

The water supply to the kitchen operated and drained freely at the time of inspection

Question D/P. 22. Bathrooms / WC; Are cisterns / pans / bidets correctly installed and are they stable / rigid?

Answer Yes

Question D/P. 23. Bathrooms / WC; Is there running water within the cisterns/pans/bidets?

Answer Yes

Question D/P. 24. Bathrooms / WC; Are the cisterns / pans / bidets free of cracks, leakages, and do they flush correctly?

Answer Yes

Question D/P. 25. Bathrooms / WC; Is the "BATHTUB" free of damage and installed correctly?

Answer Yes

Question D/P. 26. Bathrooms / WC; Are the BATHTUB " TAPS " free of leaks and does the water supply operate correctly?

Answer Yes

Question D. 27. Bathrooms / WC; Are the BATHTUB " TILES " defective

Answer No, There is loose / missing grout

Grout can be seen to be missing or dislodged requiring the area to be re-grouted

Answer No, Gaps in the silicone / sealant applied

Gaps can be seen in the sealant, this will require the area in question be removed and new sealant applied

Answer No, There is no silicone / sealant applied within the bathrooms

All internal corners, both vertical and horizontal, should have silicone sealant applied to the junctions

Answer No, The bathtub is sealed with grout and not silicone

Answer Refer To The Supplementary Text below

Defect Rating Minor defect

Photos



Question D/P. 28 Bathrooms / WC; Are the BASIN / VANITY unit TAPS free of leaks and does the water supply operate correctly?

Answer Yes

All taps were in good working order at the time of my inspection

Question D/P. 30. Bathrooms / WC; Are the FLOOR WASTES / STRIP DRAINS or VANITY UNIT WASTE lines blocked?

Answer Yes they all appear to all be clear of any blockages

On visual inspection only, the areas inspected appeared to be clear

When testing the fixtures and fittings these fittings and fixtures drain well at the time of the inspection

Question D. 29. Bathrooms / WC; Are the VANITY unit or BASIN, CABINET and / or MIRRORS free of damage or defect?

Answer Yes

Photos



Question D. 31. Bathrooms / WC; Are the BATHROOM WALL & FLOOR TILES free of cracks, drumminess, or loose / missing grout / sealant?

Answer Drummy tiles

Tiles found to be drummy due to failed or inadequate adhesive

These tiles could be left as is, though they have the possibility of cracks developing or dislodging from the substrate therefore could be replaced by a tiling contractor

Answer Loose / missing grout

Areas of grout can be seen to be missing which require re-grouting

Answer Gaps / defective sealant

Areas of sealant can be seen to be incomplete or defective requiring attention

Answer No silicone sealant within the bathrooms

Silicone sealant not evident at the time of inspection

Sealant should be applied to all internal and external tiled junctions

Answer Minor cracks in the FLOOR & WALL wall tiles junctions

Typically, these cracks are minor and common issues found in most homes / bathrooms due to various reasons

All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months

Answer **Minor cracks in the VERTICAL WALL TILE junctions**

These cracks are minor and commonly seen in most properties

These cracks are typical settlement cracks seen within masonry and timber framed walls within wet rooms and bathrooms

The reason for these cracks can vary but they are normally concealed by grout or silicone and we don't normally see them in new / modern bathrooms as current "new construction regulations" requires tradesmen to apply silicone to all internal junctions of the wall and floor, vertical wall tile junctions within the bathrooms, shower cubicles, laundry floors and walls plus kitchen benchtop and wall junctions

All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months.

Answer **Minor cracks were seen in the WALL TILES & CORNICES / CEILING junctions**

Typical settlement of the wall and ceiling junctions makes these cracks appear
These cracks are very common in masonry walls and timber-framed ceiling / floor structure junctions within bathrooms

Answer **Hairline cracks within the body of the WALL TILE MORTAR JOINTS**

I saw cracks in the grout of a wall tile

The wall tiles can be loose and drummy, further investigation is required as it's not normal to see a tile with cracks within the tile or within the mortar joints around wall or floor tiles, as this could mean the glue has disengaged from the tile or the substrate or that there is an issue within the substrate that is forcing the tile loose / off its original position

Further investigation is required

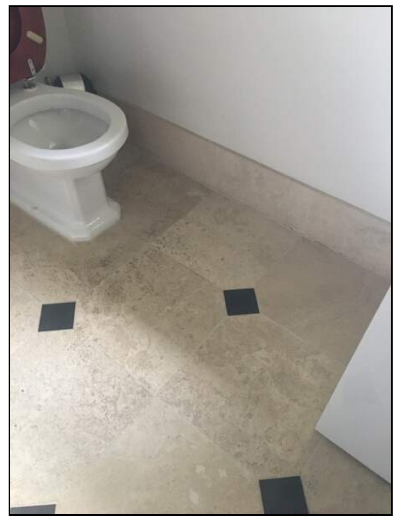
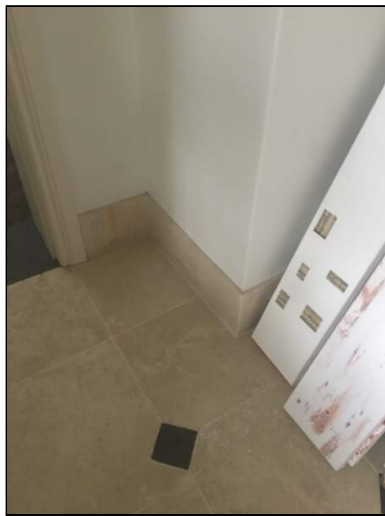
Answer **Cracked tiles**

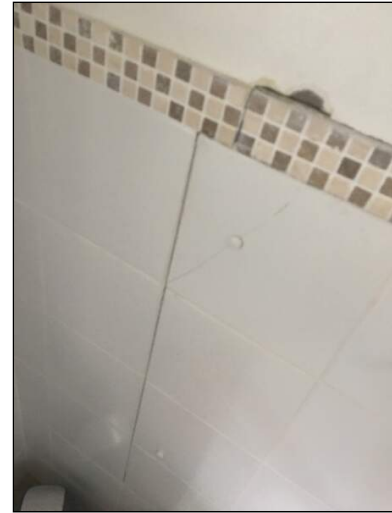
Cracked tiles found at the time of the inspection; these items should be replaced

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Photos





Question D. 32. Bathrooms / WC; Is the SHOWER SCREEN free of defects or damage?

Answer Inadequately sealed at floor / wall junctions

Inadequately sealed at floor / wall junctions:

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

Answer Minor gaps in sealant

Minor gaps in sealant

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Photos



Question D/P. 33. Bathrooms / WC; Around the SHOWER, is it free of signs of LEAKS / SEEPAGE?

Answer **Yes**

Question **D. 34. Bathrooms / WC; Are the SHOWER WALL & FLOOR TILES free of cracks, drumminess or loose / missing grout / sealant?**

Answer **Loose / missing grout**

Grout can be seen to be missing or dislodged requiring the area to be re-grouted

Answer **Gaps in the existing sealant / silicone / grout**

Gaps can be seen in the sealant, this will require the area in question removed and new sealant applied

Answer **No silicone sealant is applied within the BATHROOM**

All internal corners, both vertical and horizontal, should have silicone sealant applied to the junctions within the bathroom, WC, laundry

Answer **No silicone is applied within the SHOWER CUBICLE / internal junctions within the shower cubicle**

Within the shower cubicle, there should be silicone or a flexible sealant applied to all wall and floor tiles junctions, plus vertical wall tile junctions and wall and floor tiles where they meet the shower screen, this is not the case within this property

This is an easy fix for any handy person or tradesman

This assists in retaining moisture within the wet room / shower cubicle and this assists in limiting any cracks occurring within the wall and floor tiles when the building settles / moves between seasons

This is a minor defect and commonly found in older style homes or not so recently built or renovated properties

Answer **I suggest you apply a bead of silicone to all internal junctions within the shower cubicle (over the existing grout / sealant) to keep all moisture within the shower**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Photos



Question D/P. 35. Bathrooms / WC; Are the SHOWER TAPS free of leaks, and does the water supply operate correctly?

Answer Yes

Question D. 36. Bathrooms / WC; Are the rooms free of CONDENSATION / MOISTURE damage?

Answer Yes

Question D/P. 38. Laundry; Are the TAPS free of leaks or defects?

Answer Yes

Question D. 39. Laundry; Is the TUB / CABINET free of water damage, corrosion or other defect?

Answer Yes

Photos



Question D/P. 40. Laundry; Is the laundry tub WASTELINE / PIPES in order / unblocked allowing water to drain away freely?

Answer **Yes**

On visual inspection the areas appeared to be clear and unblocked

When testing the fixtures and fittings, the areas drained freely at the time of the inspection

Question **D. 41. Laundry; Are the WALL & FLOOR TILES defective (Cracks, drumminess, or loose / missing grout / sealant?)**

Answer **Loose / missing grout**

Re-grouting of tiled area required.

Answer **Defective / Gaps within the existing sealant / silicone**

Sealant should be re-applied to areas where it is not currently evident

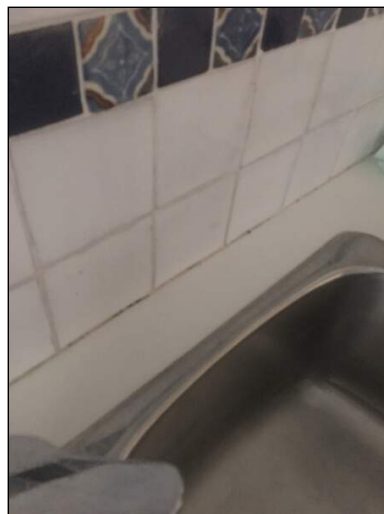
Answer **The laundry BENCHTOP and wall junction has missing / defective silicone applied to this internal corner**

It is best to seal the laundry tub and / or the laundry benchtop to the wall / splashback so that no moisture falls behind the laundry tub or cupboards and it prevents mould and dampness within the laundry room

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Photos



Question **D. 42. Are the laundry walls and floors waterproofed / contained should a flood / water leak occur in this area / room?**

Answer **I can't see due to no access to the substrate**

Answer **I can't confirm this but I assume it is**

Answer **Further Investigation required, as I cannot answer this question about this laundry fit out**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Further Investigation

Question D. 43. Laundry; Is the room adequately VENTILATED?

Answer Yes

Question D. 45. Internal stairs; Are the stair stringers, handrails, balusters, treads and risers sufficiently rigid and free of damage?

Answer The stair treads do not appear to have slip-resistant measures applied

I cannot confirm if this is a fact or not

Under my visual inspection and slip test assessment, I assume the treads don't comply with current new building regulations

It is easy to have these stairs worked on / repaired / upgraded to comply with Building Regulations to prevent a fall from occurring

Answer Refer To Supplementary Text / Photos / Defect Rating

Location The timber staircase to the basement has a few small and short steps, that could be the reason for a person to fall down the staircase / that leads down to the basement

Defect Rating Safety hazard

Photos



Question D. 46. Internal stairs; Does the handrail and balustrade meet current regulations? Is the handrail and balustrading Defect free ?

Answer Yes

The handrails and balustrade meets current building regulations

Question *** S. 47. DO ALL ELECTRICAL FIXTURES & FITTINGS APPEAR FREE FROM DEFECTS?

Answer *** POWERPOINTS COSMETIC ANSWERS ***

Answer Yes, all powerpoints appear to be cosmetically undamaged

Answer *** GPO LOCATION ANSWERS ***

Answer Yes, all powerpoints appear located within a safe location

To the best of my knowledge the existing powerpoints are not within the zone of non-compliance

Answer *** LIGHT SWITCHES COSMETIC ANSWERS ***

Answer Yes, all appears to be in order at the time of my inspection subject to the age of the original build

Answer *** LIGHT FITTINGS COSMETIC ANSWERS ***

Answer Yes, all light fittings appear to be cosmetically undamaged

Answer *** CEILING FANS ANSWERS ***

Answer Yes, All fans were working or appear to be in working order at the time of my inspection

Answer *** SMOKE ALARMS ANSWERS ***

Answer Yes, smoke alarms exist within the property at the time of my inspection

Smoke alarms have been installed within this property

Smoke alarms should be checked and tested by a licensed electrician prior to occupancy of this dwelling and tested every twelve months

Answer *** POWERBOARD ANSWERS ***

Answer I saw a combination of wired fuses and an RCD circuit breaker in the Electrical Meter Box

It is best to have an electrician have a circuit breaker installed covering all aspects of lights, powerpoints, kitchen appliances, hot water systems, air conditioning units and if the home has a pool or any other external equipment allowing them to be protected by their own RCD / Circuit Breaker

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defects

Photos



Question D. 55. *** IS THERE A PEST NOTIFICATION LABEL WITHIN THE ELECTRICAL METER BOX OR WITHIN THE KITCHEN CUPBOARD?

Answer No, I did not see a pest control sticker within the meter box or within the kitchen cupboards

I did not see a pest contractors sticker within the electrical meter box nor within the kitchen cupboard doors at the time of this inspection (Confirming the property has been treated within the last twelve months)

Within the electrical meter box or within the kitchen cupboard doors are the building industry standard locations for a pest contractor to install their stickers confirming their work and the type of spray or treatment used on site

* The sticker confirms the last inspection date and type of treatment used

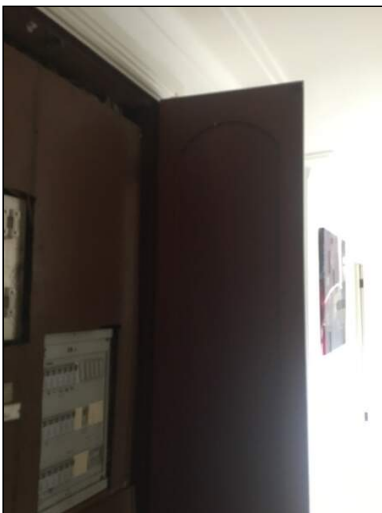
We recommend all properties be inspected regularly, the average lifecycle of a chemical spray system is less than twelve months, we recommend all properties be assessed and reported on and a chemical treatment be applied every six to nine months as a "Best Pest Prevention Plan" for this property

This is a defect and every property should be sprayed / treated every six to nine months regardless of the type of building or structure or materials used within the building internally or externally

This defect could become a major issue if not addressed

I recommend this property be inspected and treated on a regular basis

Photos



Part 5: Exterior of Building

Question S. 56. *** SUMMARY OF THE DEFECTS WITHIN THE EXTERNAL ELEVATIONS

Answer Summary Of Defects and Possible Issues, that you should be made aware of about this Property

Summary

The external masonry walls do not have weep holes, weep holes are typically found above and below all external doors and windows and along the baseline of the external masonry walls, they allow any moisture build up within the cavities to bleed out of the cavity walls to avoid any water entry within the internal habitable walls or subfloor area of the house

There is no exposed and expressed damp proof course protruding through the external masonry walls or rendered external walls of the property

There are missing grills and air vents within the external rendered walls, air vents are installed within the external rendered walls to allow fresh air intake into the subfloor area of the house, fresh air intake and crossflow ventilation within the subfloor area is ideal to control moisture and termite infestation within the property

There were no control joints or expansion joints within the external masonry walls of the house, It's best building practice to have control joints installed within all masonry walls that span 6m or greater

There is minor wood rot within the garage door

There is minor damage randomly found throughout the home within the timber eave lining boards and soffit linings

The colourbond gutters have been partially painted, where the gutters have been painted there is excessive paint peeling off the rear copper gutters

The sewer air vent pipe cowl is missing from the roof elevation

There were dented and damaged copper downpipes

The external wrought iron gates and balustrading are rusted and in need of repairs and re-painting

The garage stairs have no handrail detail

The garage roof and roof plumbing / and box gutters are rusted and water enters the garage due to damaged and defective flat metal roof and PVC roof sheets / solar system installed over the garage roof

The garage internal elevations were not inspected in full due to excess personal belongings stored within the garage

Within the garage, there is rust present within the steel purlins and beams

In the backyard, there is a timber deck attached to the rear of the tennis court, the timber deck and stairs are heavily affected by wood rot, a new timber deck and staircase is required

In the backyard there is a number of stairs leading off the timber staircase and into the lower elevation of the backyard, the stairs have inconsistent step risers and no handrail or balustrade detail installed

Within the backyard, there is a major tree stump that needs to be removed, I saw no live termites and I saw no live pests but there is major wood rot within this tree stump and a number of stumps around this area

In the backyard, there are cliff edges concealed within the vegetation / garden beds, should a child walk too close to these garden beds they could fall down a rock shelf in excess of a 2m fall.

Within the tennis court, there are a number of areas of subsided finished floors which hold

pooling water

Within the rear elevation of the home overlooking the tennis courts, there were a number of areas within the back veranda reveals and within the rear elevation of the house which have cracks and moisture damage within the external rendered walls, minor in nature but large enough to warrant repairs

All the skylights are rusted within the outer steel framework located on the roof elevation

The sandstone staircase off the elevated patio leading down to the pool has no handrail and no grab rail installed

Within the rear elevation of the house, there is efflorescence and moisture seeping out of the external rendered walls

Randomly seen throughout the backyard, are cracks within the sandstone retaining walls and blockwork

There are no control joints or expansion joints within the sandstone pool flagging or pool sandstone coping tiles

There were cracks and chipped sandstone pool coping pieces

There are open porous pathways and garden beds located hard up against the external walls of the house, which allows water to pool within the subfloor area of the house, which will attract termites and as there is no access to the subfloor, this could end up being the cause for pest / termite infestation

There is wood rot within the timber posts in the rear elevation of the home, the wood rot is at the base of the timber posts where they are in direct contact with the steel stirrups

There is minor wood rot within the external doors and windows

The roof tiles appear to be in very good condition, with minor imperfections typical for a house and roof elevation in this location and for the age of the house

There are a number of flat roofs within this property, there has been a number of waterproof membranes supplied and a number of patch kits applied to retain the roof as being watertight

There are minor vertical and horizontal cracks seen throughout the external elevations of the home

I saw two windows with cracked window panes which should be replaced

There were stiff windows, hard to open, and doors that bind on the doorjamb and door locks

French door lock missing on the first floor bedroom leading out to the side veranda / deck

Missing external electrical fitting on the soffit / eave linings

Defect Rating Summary Of The External Main Defects

Question [D. 58. External Walls / Lintels / Beams \(Structural assessment\) Are the lintels, walls or beams sufficiently rigid and free of defect / damage / cracks / moisture?](#)

Answer **Minor cracks within external brickwork**

The house has minor cracks seen within the external elevations of the property

These cracks are typical and non-structural issues, should they open up or develop over time, a structural engineer should be engaged

This is a minor defect in the current condition of the property

Answer **Cracks in render, minor**

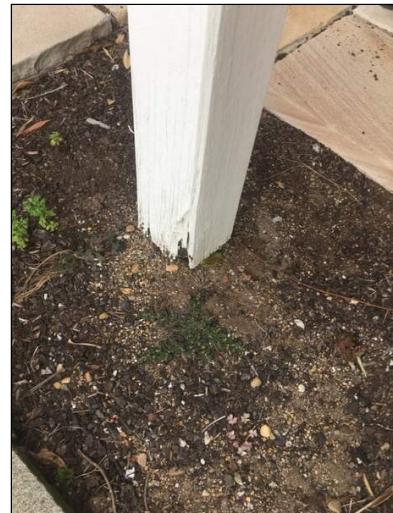
Cracks found within the rendered finish

Cracks appear to be minor in nature following the line of brick joints

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Photos



Question **D. 59. External walls (Non-Structural elements assessment) Are all walls, wall cladding and soffit linings free of defect / damage, and are the paint / coatings maintained?**

Answer **Weep holes covered**

Weep holes missing

Weep holes could be covered by soil / vegetation / pathways / render

You should remove the render or obstructions in front of the weep holes

You should lower soil levels so that subfloor vents are clean and allowing free-flowing air to the cavity and subfloor area

Covered weep holes also provide concealed entry points for termites

Having no weep holes allows water entry into the subfloor area, internal cavity walls and internal walls of the property

The water within the cavity walls cannot be expelled from the building / walls and sometimes you will see moisture within the internal walls, skirting and floor coverings due to concealed or missing weep holes

If the weep holes are concealed, it allows the water to pool within the subfloor area attracting pest / termite activity, this is also conducive to termite infestation and timber fungal decay

Answer No DPC seen through the render walls

All walls rendered should have the control joints and damp proof course exposed through the render, so that it doesn't allow bridging of the external render / linings

Answer No DPC seen within the face brickwork

The external face bricks did not expose where the Damp Proof Course is installed within the face brickwork, the DPC could be embedded within the mortar bed but I could not see it at the time of this inspection

Answer Craze cracking in rendered finish

Non structural imperfections seen in the rendered finish

Cracks found are assessed to be existent in the external lining and not in the masonry wall / substrate

Answer Air vents / grills covered and / or blocked

The air vents installed to the external walls are covered / obstructed which will allow pests and moisture to enter the subfloor area if left as is

The purpose of air vents is to allow fresh air ventilation to the subfloor area meeting current or past regulations

I see that there is inadequate vents / grills within the external walls making the subfloor area non-compliant due to poor / reduced volume of air for ventilation and poor crossflow ventilation to the subfloor area

Answer Air vents / grills missing from the external walls

The purpose of air vents is to allow fresh air ventilation to the subfloor to meet current or past regulations

I see that there are missing vents / grills from the external walls, therefore making the subfloor area non-compliant due to poor ventilation and poor crossflow ventilation to the subfloor area

Answer Soffit linings are defective within the verandas / decks / patios

Repairs are required to the external ceiling linings

Answer **Minor damages / hairline cracks in the wall cladding**

Answer **Minor cracks seen within the external rendered walls**

Answer **Moisture damage to the eaves / soffit lining boards**

Finding the reason / source of the water entry to the eaves / soffit lining boards is required and once repaired, the eaves also need to be repaired and re-painted

Answer **Refer To Supplementary Text / Photos / Defect Rating Below**

Defect Rating Minor Defect

Photos



Question **D. 60. External "Walls & Doors/Windows"**

Answer **Missing weep holes above/below the windows or doors**

All doors and windows should have had flashings installed when they were originally installed within the cavity, directed to the external walls of the property

Weep holes allow any water within the cavities to seep out from the walls/cavities

I assume there are concealed flashings above and below the external doors and windows, this property has minimal to no weep holes above or below external doors and window openings

Lack of weep holes will create dampness within the cavity and within the internal wall linings and it will contribute towards the render cracking and render crazing, this will eventually become drummy and fall off the wall, any timber attached to the walls in question will rot and deteriorate before its natural time

THIS IS A MINOR DEFECT / ISSUE

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Photos



Question D. 61. Wall Cladding "Flashing & DPCs"

Answer I cannot see a damp proof course / flashing evident at the BASE of the external walls within this property

I did not see a damp proof course (DPC) within ALL EXTERNAL WALLS within this building

I am not confirming that there is not a concealed DPC within the mortar joints but I am confirming that I did not see the normal PVC / LEAD / SLATE damp proof course embedded within the external walls / brick joints within the external elevations within this property

It is best practice to have all surrounding surfaces around the building clear of any materials that may retain moisture, with minimal garden beds up against the building

All hard surfaces around the building should direct the surface water and any stormwater away from the building, keeping the walls, foundations and footings of the property as dry as possible limiting the possibility of rising damp.

THIS IS A MINOR ISSUE / DEFECT

Answer **I cannot see flashings evident above and below WINDOWS AND DOORS (masonry walls)**

Flashings should be installed above and below each window and door unit

Weep holes should be installed to allow moisture to seep out of the wall cavities

When no weep holes are installed or seen in a property such as this one, it raises the possibility of moisture being trapped within the internal skin of the property

NOTE:

This is a common problem found in properties that are rendered after the original build

Builders and bricklayers often install flashings and weep holes when they build a new building, but when new owners move into a property they often render the external wall linings and the weep holes get covered over by the renderer and painter as they don't always expose the weep holes

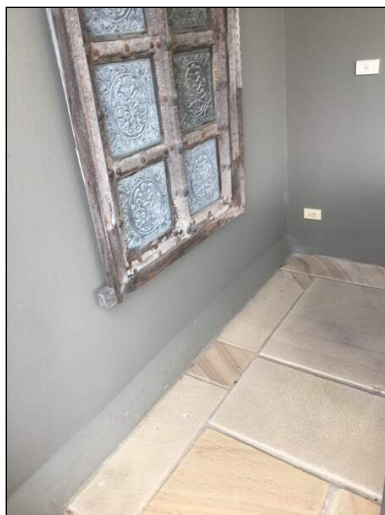
All period buildings that are not renovated do not have weep holes installed over the doors and windows as it was not industry standards back when this home was built

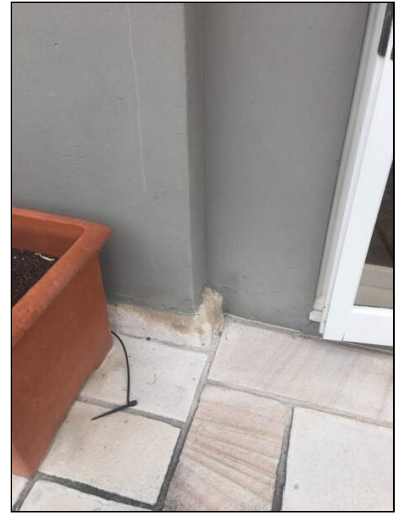
THIS IS A MINOR DEFECT!

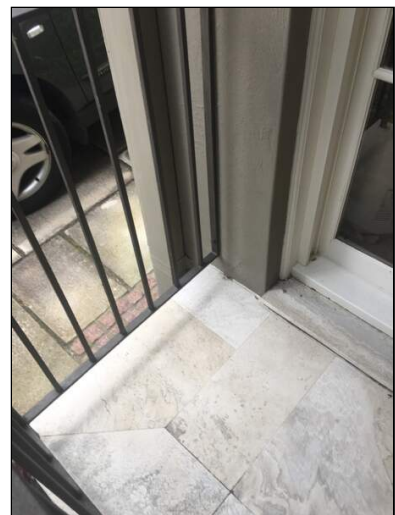
Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Photos









Question D. 63. External Stairs; Are the MAIN STAIRS leading to the front door / stairs exposed to the public / main stairs to the property, are they safe to use?

Answer **Yes**

Stairs and handrails are in order at the time of this inspection

Question D. 64. External Stairs; Are the SIDE, REAR or GARDEN stairs found around the property defect free?

Answer **Sloping & uneven treads & risers**

The stairs are sloping and uneven in size and inconsistent

Treads and / or risers of varying depths / heights

Some steps have larger risers and goings

The stairs are a safety hazard in their current condition, they do not meet current regulations

Answer **Missing grab rail**

No grab rail installed

Answer **Timber finish to the staircase is defective**

Timber finish to the staircase can be seen to be defective and in need of replacement, these works should be undertaken by a carpenter to limit further deterioration of the staircase

Answer **Water damage / rot to staircase**

The timber stairs need to be repaired, as they are not in good condition

A carpenter must be engaged to repair and make good the staircase treads and goings / stringer and substructure

Answer **Mould / mildew causing slipperiness**

There is the possibility that a person can fall due to the current conditions of the stairs, as they could be slippery when wet and when mould and mildew are found to be present on these stairs

Answer **No slip prevention measures in place**

Goings don't have slip prevention measures installed on the nosings, this area is a safety hazard and should be rectified as soon as possible

Answer **No handrail or grab rail installed to meet current building regulations**

Three or more steps constitutes a flight of stairs

All flights of stairs should have a handrail / grab rail installed

If the staircase and / or landing has a fall greater than 1m then a balustrade and handrail detail should be installed

It is common to find older style properties or properties not recently renovated to not comply with current building regulations, this is a common issue seen in older style properties

In my opinion, this is not a deal-breaker, as a handrail and / or balustrading detail is not expensive to have installed once you are the owner of this property

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Safety Hazard

Photos





Question D. 65. Balconies / Verandas / Suspended "Floors & Walls"; Do they appear structurally sound, free of defects?

Answer **Timber decay, major**

Immediate repairs required as it unsafe to leave it as it is

Answer **Timber flooring, defective**

Timber flooring could be seen to be defective requiring attention

Answer **Timber floor has a bounce within the structure**

The timber floor is bouncy underfoot when assessed

A carpenter needs to assess and make good the structure

Answer **Missing expansion / control joints with the floor**

It's best to have expansion joints and / or control joints within floor structures and finished floor linings every 5.5m in each direction

Control joints / expansion joints accommodate for settlement / growth and shrinkage of the substrate and finished floor linings to allow for ongoing movement within a building

This area of the property doesn't have an expansion / control joint installed within the floor

Minor defect if left as is, but could be implemented easily and quite quickly and inexpensively, this will allow you to control were the cracks and future movement will show up should the property re-settle between periods

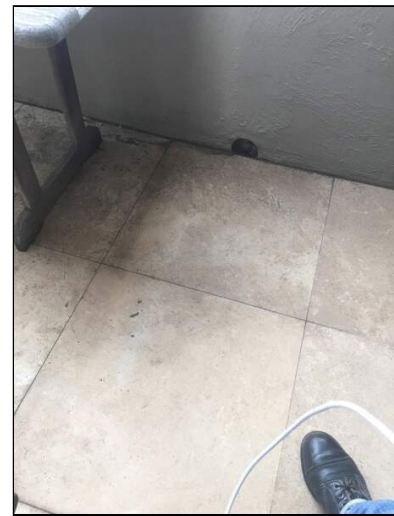
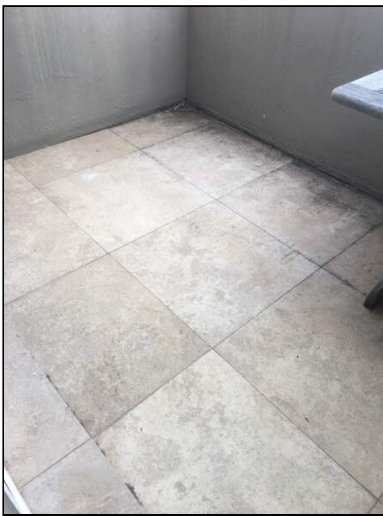
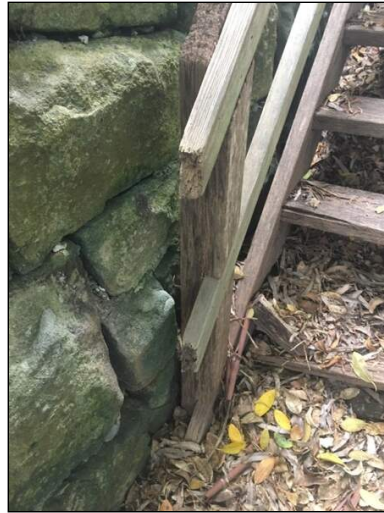
Answer **Missing grout in the floor tiles**

Answer **Loose timber decking boards**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Photos



Question

D. 66. Balconies / verandas / patios / decks / suspended floors / retaining walls; Are handrails and / or balustrading installed where a fall is greater than 1m?

Answer

Missing handrails and balustrading

Randomly found throughout the house, there are handrails & balustrades not installed in areas that require restraint measures installed

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Safety Hazard

Photos



Question **D. 67. Timber deck(s); Are the timber members (Bearers, Joists & Decking Boards) compliant with current regulations?**

Answer **Decking is loosely fixed**

Decking boards were seen to be loosely fixed, these areas could be seen as a trip hazard and should be attended to by a carpenter

Answer **Dry / wet rot within the timber structure**

Dry/wet rot can be seen within the timber structure, these areas should be attended to by a carpenter to ensure the integrity of the structure is maintained.

Answer **The hardwood decking boards are in direct contact with the adjacent finished surfaces, wet rot can and will develop over time in the non-accessible areas of the hardwood decking boards**

This is a minor issue, but it should be looked at once you move in as it's cheaper to maintain your property than to repair / replace or re-build a defect / issue

Answer **No / defective ant capping installed**

Ant capping was defective or not evident at the time of inspection.

Answer **Handrails installed under 1000mm**

Handrails installed are under 1000mm in height

The handrail and balustrading details are non-compliant, this is a major safety issue that should not be ignored

You should have a builder or balustrading contractor attend the property and have this made good ASAP

Answer **Non-structural / loose handrail & balustrade detail installed on site**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Photos



Part 6: Roof Exterior

Question ***** S. 68. ROOF ELEVATIONS & ROOF PLUMBING: IS THE GUTTER LINE AT 2.7M OR LOWER IN HEIGHT FROM THE GROUND LEVEL? DID YOU ACCESS THE ROOF ELEVATION ON SITE?**

Answer **This property has multiple roof levels, I accessed the roof in part only, not in full**

The building has gutters ABOVE and BELOW 2.7m in height
I only inspected the roof linings and gutters that were at 2.7m in height or lower
The remaining roofs / roof plumbing were not inspected nor reported on within this report
I did not access the entire roof elevation nor roof plumbing as the gutter line is above 2.7m in height in random locations
(A 3.6m ladder services a 2.7m high gutter line)

As per Work Health Occupational Safety Regulations, any roof over 2.7m from the natural / finished ground level is inaccessible for a single inspector, and that was the case with this property

If you want a complete and comprehensive assessment of this roof and all the elements associated with this roof, we must return to carry out a second inspection with a harness and a second inspector, then you can rely on the facts and our findings within that report

A second inspection to cover the entire roof will cost \$690 + GST
(This includes two men plus ladder / harness hire to safely access the roof)

You cannot rely upon this report for the condition of the roof tiles / roof sheeting / roof plumbing or any other elements found on the roof over the entire property

NOTE :

If I comment on the roof tiles / roof sheeting / roof plumbing, and the roof / gutter line is over 2.7m in height, our comments are general comments only

If we do comment on the roof it's an assessment done via:

- * From a distance or by using our zoom camera
- * Overlooking windows or structure which allows us to view the roof without actually gaining full access
- * We comment on the roofs as seen off a ladder

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Further investigation as I did not inspect the entire roof elevation

Photos









Question

D 70. Roof tiles, shingles, slates: Is the roof free of cracked and broken / decayed tiles?
SPECIAL NOTE: The Inspector takes minimal photos whilst on the roof so the inspector's hands are free during the inspection for safety reasons and photos are generally taken from afar, if any

Answer

I did assess the roof tiles from a distance BUT NOT IN FULL! This assessment is not a complete and comprehensive assessment of the entire roof as I could not access / assess all areas at the time of my inspection

I did not access all roof tiles & roof plumbing as it was above the maximum height required for the safe use of a 3.6m in height ladder

As per Work Health Occupation Safety regulations, any roofs with a gutter line over 2.7m from the finished ground level is inaccessible for a single inspector using a 3.6m ladder, and that was the case with this property

All roof tiles / roof plumbing and any other elements associated with the roof and located within the external roof linings are excluded from this report

If I comment on the roof, and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level) or from the overlooking windows or verandas, but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property

If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a harness and a second inspector, and then you can rely upon the facts and findings within that report

The roof tiles and roof plumbing on this property are excluded from this assessment and this report

Answer **Even though I did not see all elevations of the roof, I can say what I saw was all in order with little to no defect to report on**

Answer **Dislodged tiles & minor adjustment of the roof tiles and flashings are required to keep the house watertight**

Dislodged tiles in a few areas
Minor cracks were seen within the roof tiles
Minor gaps were seen in the roof tiles and valley iron junctions
I encourage you to engage a roof tiler to rectify this issue

Answer **Minor repairs are required to the roof elevation to make the roof linings / roof void watertight**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 71. Roof Sheeting, is the roof free of corrosion, or other defects/damage?**

Answer **Extensive rust found within the roof sheeting**

Extensive rust was found on the roof sheeting

Replacement is required ASAP

Call a roofing contractor to have this made good and the house watertight

Answer **Minor dents in the roof sheets, flashings and capping's**

Minor imperfections / dents and undulations within the metal deck roof sheets, roof flashings and capping's

Answer **Considerable rust seen within the roof sheets / roof plumbing**

The rusted roof sheet/s should be replaced as they could allow water entry now or in the near future if not addressed

Replacing a single sheet is not an expensive nor labour-intensive exercise

You shouldn't be disheartened by this issue as it is a common issue found in older properties

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location The garage roof sheeting and roof plumbing needs to be repaired due to rust and damage within the roof sheeting

Defect Rating Minor Defect

Question **D. 72. Roof Flashings; Is the flashing free of uplift, corrosion or other defect / damage?**

Answer **Corroded flashings**

The flashings are corroded and in need of repair or replacement

A roof plumber would be the best contractor to call to have this repaired

Answer **Impact damaged flashings**

The flashings installed needs to be worked on as they are defective

A roof plumber should be engaged to repair and make good this issue

Answer **Rusted capping's / flashing to the roof elevations**

This could allow water to enter the roof and house internal elevations if left as is

Answer **Damaged and defective roof capping's**

Repairs are required to the roof capping, to make the property and roof framing / void watertight

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location Garage roof sheets & roof plumbing need to be repaired

Defect Rating Further investigation

Question [D. 73. Roof Plane; Is the roof free of bulges, sagging or other movement?](#)

Answer **I could not see the entire roof elevations at the time of this inspection and I therefore cannot comment on the waviness of the roof**

Question [D. 74. Roof Gables; Are the gables free of defects/damage, and is the paint/coatings in good condition?](#)

Answer **Yes**

Question [D. 75. Skylights / Vents / Flues \(All Roof Penetrations\) ; Do the roof services and flashings appear watertight?](#)

Answer **I did not inspect the entire roof elevation**

As I did not see all aspects of the roof, I cannot comment nor can I give a comprehensive assessment and advice on this aspect of the roof

Any comments made are on the basis of what I could see from a distance on the roof but my advice is not covering the entire property

I suggest you have the roof assessed by two inspectors or a drone if you want a full and complete assessment of the roof elevations

Answer **I did not inspect the entire roof elevation but what I did see was all in order from the vantage points available on the day of my inspection**

Should you want a full and comprehensive assessment of the roof, a second inspection with two inspectors or a drone inspection is required

Answer **Skylight cover defective**

Minor works are required by a roofing contractor to have the skylight PVC / GLASS cover replaced due to it being defective, which could allow water to enter the property if left as is

The contractor needs to inspect and confirm what parts are required and to perhaps carry out a flood test to confirm if any water is entering through the skylight, the roof covering or roof flashing.

Answer **Sewer air vent pipe / cap is defective**

It's a quick and easy fix for a professional roofing contractor / roof plumber

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Further investigation

Question **D. 76. Valleys / Gutters / Downpipes; Are they free of rust and do they appear to drain effectively?**

Answer **I did not access the roof & roof plumbing above 3.6m in height**

I did not access the roof & roof plumbing as the gutter line was in excess of 2.7m from the ground level below.

As per Work Health Occupational Safety Regulations, any roof with a gutter line over 2.7m from the ground level below level is inaccessible for a single inspector as it does not allow the safe use of a ladder as detailed in AS4349.1-2007 section 3.2.2 - Safe and reasonable access, this was the case with this property

If I comment on the roof / roof plumbing and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level or from the overlooking windows or verandas) but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property

If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a second inspector and then you can rely upon the facts and findings within our report

The roof sheeting and roof plumbing on this property is excluded from this assessment and this report

NOTE: If comments are made on the roof plumbing, it's because we reported on the areas below 2.7m in height in this report, but anything above that height is excluded from our assessment and this report

Answer **Damaged / Dented downpipes**

There are downpipes that need to be repaired within this property

Damaged and dented downpipes may lead to excess pooling of water under the subfloor area of the house or deck, pooling water or damp subfloors can draw termites to a property

Downpipes are not costly items to be repaired or replaced, most handy homeowners can replace a downpipe within thirty minutes with supplies from bunnings or a plumbing supplier

Answer **Downpipe joins leaking**

Downpipe joins leaking, have a roofing plumber repair / seal this issue while it's a minor defect

Answer **I inspected the gutters below 2.7m from the external finish floor level and they appear to be in fair condition subject to the age of the house**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question D. 77. Eaves / fascias / barges; Are they free of corrosion / decay and do they appear to be sufficiently rigid?

Answer **Eave and soffit lining, detached / defective**

Eave and soffit lining detached, damaged and loose.

Get a carpenter to repair or replace the eaves / soffit linings.

Answer **Eave and soffit lining, staining / bubbling visible**

Staining / bubbling visible

Have a painter re-paint / treat the surfaces to preserve the timber / fibro linings

The staining appears to be old and not a recent leak, but the staining is visible

Staining can occur due to blocked guttering

An assessment by a plumber is advised prior to the painting of the timber or fibro

Answer **Damaged / defective eaves linings**

The eaves / soffit linings are in place but they are in need of repair due to the defects seen within the eaves linings

Answer **Moisture damage to the eaves / soffit linings board**

Moisture / discolouration of the eaves linings, source of moisture should be determined and repaired and then the lining board should be repaired / made good

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question D. 78. Chimneys; Do chimneys appear plumb and structurally sound, with adequate flashings?

Answer **Yes**

Question D. 79. General; Is the roof free of any other damage or defects?

Answer **The roof is in GOOD condition, subject to what I could see on the day of the inspection**

I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights

Answer **NOTE: I am unable to comment about the entire roof, as I did not access all roof elevations at the time of this inspection**

I was unable to inspect all roof elevations within the property

Any comments made are for certain locations only and made from a distance / afar (off a ladder / overlooking windows / zooming up to the location by a camera) and in no way are we commenting and covering the entire roof elevations in this report for this property

Unfortunately, you cannot rely upon this report for the condition of the roof, as I did not inspect nor report on the entire roof so we do not cover the entire roof linings & roof plumbing

on this property within this assessment and report

If you want a full assessment of the roof, a second inspection is required, with two inspectors, or an inspector and harness set up is required, this service comes with a fee of \$690 + GST

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location & Details Flooding of the garage roof and roof plumbing is required to determine exactly the true extent of repairs required to the garage roof

Defect Rating The roof should be inspected in full, as we have not done so in this inspection nor report, this should be done so you have a comprehensive assessment of the roof prior to committing to buying this property!

Part 7: Roof Space

Question *** S. 80. ROOF VOIDS; WAS THE ROOF VOID ABLE TO BE ENTERED AND ASSESSED / REPORTED ON? NOTE: All skillion roofs with no roof voids or roofs with no access hatches within the ceiling linings are excluded from this report

Answer **Yes, the roof was inspected but NOT IN FULL due to restricted access within the roof void**

The roof void was inspected

Due to the way the roof was built we cannot inspect all areas of the roof

We, therefore, do not offer a complete and comprehensive report on all the elements within the roof void

Answer **I did not inspect all aspects of the roof void, due to the Air Conditioning system within the roof void, which obstructed my view and access within the roof void**

Not all aspects of the roof were inspected

Further investigation is recommended if you want to know all aspects of the roof void within this property

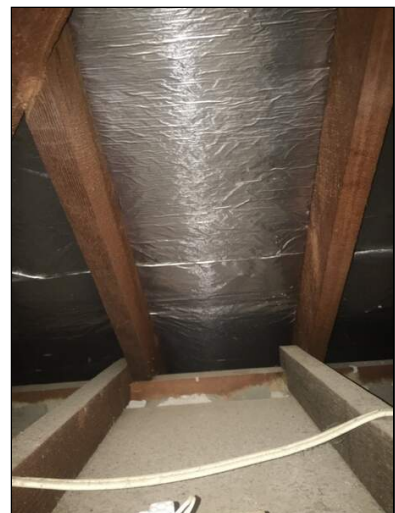
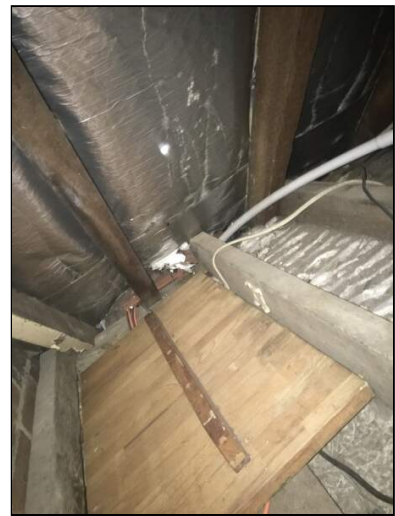
Answer **No, due to the property having a skillion / flat roof**

Unable to comment on the entire roof framing / roof void due to the property having a flat roof, and the rafters are lined to the underside of the rafters / battens, this aspect of the property has not been inspected due to no access / no roof void available to enter into

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Second inspection recommended due to no access to the roof void

Photos





Question D. 82. Roof Voids; Is the underside of the roof free of water staining or observed daylight, and defects to the underside of the roof lining?

Answer **Water staining evident to underside of roof**

I can see water staining to the underside of the roof lining and the timber members are discoloured / watermarked

I cannot ascertain if this is a past or present issue

I recommend that this area be flood tested to determine if remedial works are required

These works can be carried out by a roof plumber or handyman for minimal cost and once diagnosed most roof repairs can be completed within a days work by a good tradesman

Answer **Water staining evident to upper surface of ceilings**

Water staining can be seen on the ceiling lining within the internal envelope of the house (roof void)

When assessing the roof void it is difficult to confirm if the water leak has been made good recently or if the water entry issue is still active

You are recommended to have this area flood tested to determine if remedial works are required or not

Answer **Gaps exist around several roof screw / nail penetrations**

Gaps can be seen around screw / nail penetrations

These areas will need to be attended to, to ensure the roof space is watertight

These works can be carried out by a roof plumber or handyman for minimal cost.

Answer **Gaps exist beneath flashing(s)**

Gaps can be seen beneath flashings, these areas should be attended to, so as to stop wind driven rain entering the roof space.

These works can be carried out by a roof plumber or handyman for minimal cost

Answer

Daylight can be seen to be coming through the roof linings / flashing / junctions within the roof void

It's best to have a roofing contractor inspect and assess the roof once you move in, to adjust / make good any possible moisture entry points within the roof / walls below the roof linings

Answer **Leaves and debris are seen within the roof void, meaning there could be water entry into the roof void in a high wind storm**

Answer **The roof has no sarking installed to the underside of the roof linings, the possibility for a water entry issue is greater than a house without sarking being installed and hence why daylight can be seen to be protruding through the roof void**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Area of improvement that should be considered before buying this property

Question **D. 83. Roof framing; Does the framing appear to be structurally sound and free of defects / decay / corrosion or other damage?**

Answer **Even though I was unable to inspect all aspects of the roof void, I can say what I could see at the time of my inspection was all in order for a house of this age, no real concerns were sighted within the roof void within this property**

Question **D. 84. Roof framing; Is the roof framing free of modifications / from the original build?**

Answer **Yes**

Question **D. 85. Sarking; Is there building foil in place, and is it free of holes/tears or other damage?**

Answer **Yes, sarking was installed to the areas that I could see whilst I was within the roof void**

No major defects were seen within the sarking within this roof space

Sarking is a secondary measure to collect any driven water / rain that penetrates the roof linings, sarking should be installed to drain into the gutter or outside elevation

In some cases, sarking are not falling / connected into the gutter line and in some cases, the eaves lining then becomes waterlogged / damaged and wood rot can develop within the timber members that are in direct contact with the sarking

When sarking is installed it prevents me from seeing all the elevation / defects within the roof lining as they conceal elements of the roof lining

It is very important to keep an eye out and to check the roof void regularly because if the valley irons or gutter line junctions have daylight coming through these junctions, that means water could enter the roof void

Answer **Tears within the existing sarking**

Tears and holes exist in the sarking, the sarking should be repaired and monitored for any future water entry points

Minor defect

Answer **Sagging sarking / defective insulation**

A handyman can fix this issue or a roofing contractor within a few hours

In some cases, I have seen the foil not connected to the gutter line which damages the timber framing and soffit linings, but I cannot confirm if this is the case for this property, as I could not see the sarking and gutter line junction within the roof void

When sarking is installed it prevents me from seeing all the elevation / defects within the roof lining as they conceal elements of the roof lining

It is very important to keep an eye out and to check the roof void regularly because if the valley irons or gutter line junctions have daylight coming through these junctions, that means water could enter the roof void

Minor defect

Answer **Daylight can be seen to be coming through the roof linings / flashing / junctions within the roof void**

In some cases, daylight within the roof void doesn't mean that water enters the roof or property below

It's always best to have a roofing contractor inspect and assess the roof once you move in

Minor adjustments to the existing roof can result in drastic improvements in having the roof void and building below watertight

Answer **Gaps exist beneath flashing(s)**

Gaps can be seen beneath flashings

These areas should be attended to, so as to stop wind-driven rain from entering the roof space, these works can be carried out by a roof plumber or handyman for minimal cost

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 86. Insulation; If insulation exists on the upper surface of the ceiling, does it fully cover the ceiling area and not interfere with electrical fixtures?**

Answer **No insulation exists**

Question **D. 88. Within the roof void, are there any issues within the A / C ductwork, exhaust fans, electrical fitting & fixtures, electrical wiring, Is the roof void defect free?**

Answer **Yes**

No defects nor items of concern were seen within the roof void in relation to Heating, Ventilation & Air Conditioning, HVAC

Not all elevations nor aspects of the HVAC system was able to be sighted / inspected today, nor am I a specialist in HVAC, so you may want to do your own investigation with the current vendor or you may want to engage a specialist service contractor to assess and comment on all the Plant / Hardware and service lines for the HVAC systems within this property

No physical testing of the plant or equipment was carried out at the time of my inspection

Question **D. 89. Is the roof space free of any other damage or defects?**

Answer

I am unable to comment on the skillion roof area within this property, as the timber framing is concealed / lined to the underside of the skillion roof and the roof framing members are concealed and not commented on

Answer **I did not access the ENTIRE roof void of this property today while I was on site**

I have already commented on the sighted defects within the earlier questions about the roof void, there are no more defects / areas of concern that i would like to add to this report about the roof

Note; I am not commenting on all aspects of the roof void due to restricted access within the roof void and I am not supplying you a full and comprehensive assessment of the roof void due to the restricted access within the roof void

If I have commented on a portion of the roof void, I am not commenting nor covering the entire roof void of this property and / or its adjoining structures within the site

I, therefore, give you no assurance of the entire condition of the roof void of this property as I did not inspect nor report on the entire roof

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating A second Inspection is recommended once full and clear access is available

Part 8: Sub Floor Space

Question ***** S. 90. SUBFLOOR ACCESS: DID YOU HAVE FULL & UNOBSTRUCTED ACCESS TO THE SUBFLOOR AREA WITHIN THIS PROPERTY?**

Answer **No, Because the subfloor / TIMBER FLOOR had no access points available at the time of my inspection**

A second inspection is recommended once access is provided

(Gaining access to the subfloor is important if the house is built with a timber floor structure)

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location Timber floor within the kitchen and adjacent living room has no access below the timber floor, and these timber floor areas were not inspected nor reported on within this report

Defect Rating A second inspection is recommended once access is provided (Subfloor access is very important for any property with a timber floor structure)

Photos



| | |
|----------------------|---|
| Question | D. 92. Timber floor; Are bearers and joists free of deflection and sag and free of cracks, corrosion, water stains, decay? |
| Answer | Yes |
| Question | D. 93. Timber floor; Do columns / posts appear to be structurally sound, with undamaged ant cappings and free of cracks, corrosion and decay? |
| Answer | Refer To Supplementary Text / Photos / Defect Rating |
| Location | <p>The subfloor area was not inspected due to no access to the timber floor area</p> <p>The subfloor area within the storeroom attached to the underside of the office was inspected and no defects were noted or recorded within this report</p> |
| Defect Rating | Considerable Defect - This is an area of the property that should be repaired / improved ASAP to limit the possibility of termite infestation, in reference to the timber floor structure below the kitchen and the adjoining living room that is lined with timber flooring and carpet |
| Question | D. 94. Timber floor; Does the subfloor area appear to be adequately ventilated and free of dampness? |

| | |
|----------------------|---|
| Answer | <p>Inadequate ventilation within the subfloor areas inspected</p> <p>Inadequate crossflow ventilation within the subfloor areas</p> <p>As with most older dwellings, subfloor ventilation is inadequate when compared with today's requirements</p> <p>The older dwellings have small rooms and subfloor chambers and hence there is less opportunity for movement of air within the subfloor, this is often because many properties have objects placed up against the external walls and landscaping hard up against the external walls, preventing natural air from flowing into the subfloor area</p> <p>You could improve the subfloor ventilation to meet today's regulations / requirements if desired, as is advisable in older / period and brick dwellings</p> <p>You can install additional air vents which would be a days work for a handyman and costs in the realms of \$600 to \$1,000</p> <p>You could install a simple mechanical fan "DIY Pack" from \$600 for the equipment and an electrician can install it within a days work</p> <p>Or</p> <p>You could get a ventilation contractor to install a good quality mechanical fan system servicing the entire subfloor area for as little as \$1,500 and up to \$3,500 for a higher quality fan / low noise fan system</p> |
| Answer | Refer To Supplementary Text / Photos / Defect Rating |
| Location | As there is no access below the timber floor, it is a high-risk issue due to possible pest infestation, as there is no access and due to poor ventilation / no ventilation to the subfloor area |
| Defect Rating | Major Defect |
| Question | D. 95. Timber floor & Masonry walls; Are the floorboards, floor framing & supporting walls below the damp proof course free of dampness, decay and defective free? |
| Answer | Installation of a mechanical fan within the subfloor would be a good idea to improve the lowering of the moisture content within the subfloor members and foundation materials |
| Answer | Refer To Supplementary Text / Photos / Defect Rating |
| Defect Rating | Major Defect |
| Question | D. 96. Suspended concrete floors; Is the floor free of dampness, spalling or concrete deterioration? |
| Answer | Yes |
| Question | D. 97. Is the subfloor area of this property free of any other damages / defects / areas of concern? |
| Answer | I was unable to access the entire subfloor area! I inspected a small area (Under 20% of the subfloor) not all areas were able to be inspected nor reported on due to limited access |

The entire subfloor area is excluded from this report and any liability against its conditions

If I have commented on the subfloor area, it's in part only for the area that I inspected

If I have commented on the subfloor area do not assume that this condition is limited to that one area, other areas could have more defects

Better access must be made available so a second inspection can be carried out and therefore we will be able to supply you a full and comprehensive assessment and report covering the entire subfloor area so that you can rely upon those facts

A second inspection is recommended once access is provided

Answer **TIMBER FLOOR There was no subfloor area within this property that I could see or enter at the time of this inspection, therefore this section of our report is complete with no subfloor inspection nor comments**

A second inspection is recommended once access is provided

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating A second inspection is recommend once access is provided

Part 9: The Site

Question **D. 99. Detached Building, GARAGE, does the building appear structurally sound and free of defects / damage?**

Answer **No control / expansion joints in the floor**

Answer **Concrete floor is cracked**

Answer **Walls are affected by minor cracks**

Answer **Rusted roof sheets / capping's / flashing's**

Answer **Leaking gutters**

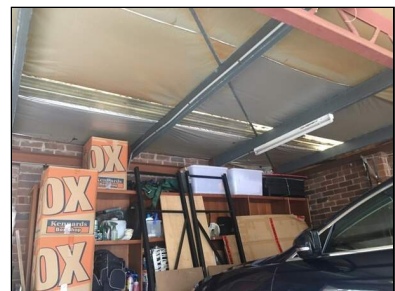
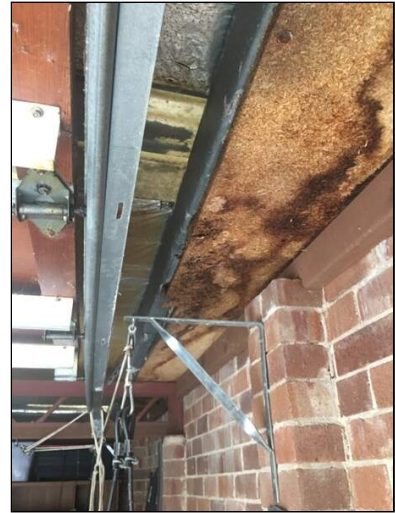
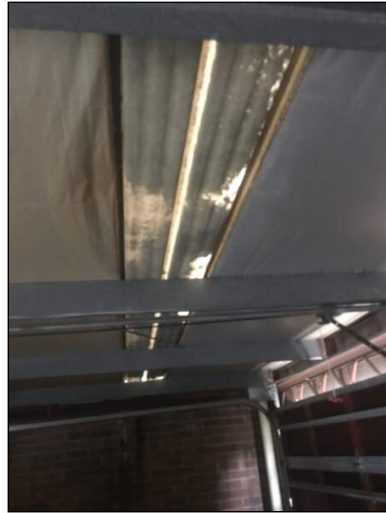
Answer **Rusted guttering**

Answer **Excess goods stored within the garage making the garage excluded from this assessment and report**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating General Comment / minor defects

Photos



Question

D. 105. Retaining Walls, For walls over 700mm high only, Do they appear structurally sound?
Are they defect free?

Answer

Handrail and balustrading required on top of the retaining walls

Answer Refer To Supplementary Text / Photos / Defect Rating

Location Garden behind the tennis court

Defect Rating Safety Hazard

Question D. 106. Concrete pathways, driveways, verandas & decks; Are all areas free of subsidence, undamaged and safe to walk upon?

Answer Yes

Pathways and driveways are in reasonable condition for the age of the property

Question D. 107. Are there expansion joints present in the external FLOOR finishes? (Expansion joints should be installed at a maximum spacing of 6m apart, to control shrinkage and expansion of the floor structure and / or finished linings)

Answer Yes

Question D. 108. External walls, Expansion joints, Are there expansion joints present in the external WALLS? If 10mm mortar joints are present within the face brickwork, an expansion joint should be installed every 8m as per AS 4773.1.2015 If 15mm mortar joints are present within the face brickwork, an expansion joint should be installed every 12m as per AS 4773.1.2015 A general rule is to have an expansion joint installed every 5.5m to 6m, an expansion joint or control joint should be installed to control brick growth

Answer No

NOTE:

External wall linings and the substrate walls should have expansion joints every 8m to 12m depending upon the size of the joints / brick mortar joints as per Australian Standards AS 4773.1.2015 Table 13.3 for clay masonry walls

As an average, builders install control joints at every 5.5m to 6m interval within the external masonry and timber framed walls.

Bricks grow in time, concrete shrinks over time: we should allow for this settlement to take place over time within our building, hence why expansion and control joints are recommended by manufacturers and projects engineers and noted within the Australian Standards

Photos



Question D. 109. Boundary fences; Do the boundary fences appear to be structurally sound and undamaged?

Answer Yes

Yes, appears to be in reasonable condition for its age

Question D. 110. Surface water; Does rainwater drain effectively away from the buildings?

Answer There is water pooling on the pavement and external walls / supporting member of the building, water is pooling on the pavement and wall / footing junction

Paving or paths along the sides of the property require amending to fall away from the walls of the dwelling

See a plumber or landscaper to assess, further investigation required

Answer There is natural ground / soil / lawns found hard up against the buildings, water is able to pond against the building

Ground and / or lawn along the sides of the property require amending to fall away from the walls of the dwelling

See a plumber or landscaper to assess, further investigation required

Answer There are garden beds installed against the external elevations of the property

Having garden beds installed close to or hard up against a building / your property is not ideal

Most homeowners love the idea of having soft landscaping next to a hard structure, but in fact, it attracts moisture to the foundations, footings and subfloor areas of the property

All moisture should be directed away from a building / supporting wall / member and subfloor areas

It is common to find masonry walls within subfloor areas to be affected by dampness / moisture, with no building defect to be found but the moisture within the subfloor walls, this can be due to the owners watering their gardens which are in close proximity to the subfloor walls or adjacent foundations of a property

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Photos



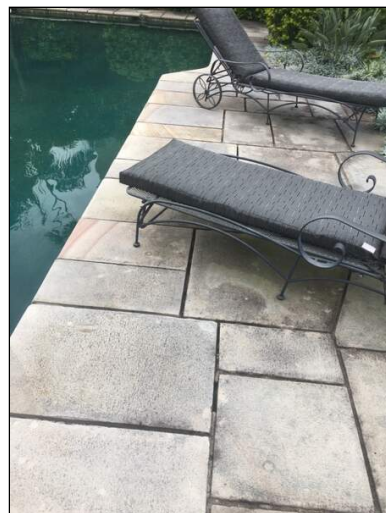
Question *** S. 111. SWIMMING POOL SUMMARY

Answer **Summary Of Defects / Issues within the pool area**

Summary The pool core shell and fitout is in good condition

Defect Rating Compliance Report should be reviewed and considered by the prospective buyer

Photos





Question D. 112. Swimming Pool; Does the pool gate self-close and lock tight?

Answer Yes

Question D. 113. Swimming Pool; Do fences completely surround the pool?

Answer Yes

Question D. 114. Swimming Pool; Is the pool internal lining in good condition?

Answer Yes

Question D. 115. Swimming Pool; Does the pool coping tiles / pavers appear to be in good condition?
Is there an expansion joint between the pool coping tiles and pool concourse floor finish?

Answer No, There is no expansion joint in the coping tiles

Answer No, The coping tiles are defective and in need of repair

Answer No, There is no expansion joint in the pool concourse

Answer No, The pool coping pavers need to be repaired - loose / chipped pavers worked

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Question D. 116. Swimming Pool; Pool equipment, Is there a hydraulic/mechanical pool cleaner within the pool or within the pool room at the time of my inspection?

Answer Yes

Question D. 117. Swimming Pool; Does the pool equipment (Pool Pump and chlorinator) appear to be in working order? Are there any obvious water leaks or maintenance issues seen on the surface of the Pool Pump and Equipment/Pool Plant

Answer Yes

The pool equipment appears to be in working order, no cracks were seen within the pool plant/pumps nor within the filters, the cleaner control unit or PVC fittings and line

Question D. 118. Swimming Pool; Does the pool core-shell appear to be structurally sound and not in need of repair?

Answer Yes

Question *** S. 119. VISUAL ASBESTOS SUMMARY

Answer Summary Of My Findings While doing a walk through this property

Summary I saw no materials in this property that are made out of asbestos, of course, to be 100% certain, lab results are required but I do not recommend it as the home is not that old and I do not expect any materials installed in this property to contain asbestos

Defect rating Further Investigation

Question D. 120. Is it possible that this property has asbestos base products?

Answer No, I do not believe this property contains asbestos based products

Friable asbestos products have been commonly used in commercial and industrial settings since the late 1800s for fireproofing, soundproofing and insulation. Some friable products were also used in houses and may still be found in houses built before 1990.

In Australia, asbestos cement materials were first manufactured in the 1920s and were commonly used in the manufacture of residential building materials from the mid-1940s until the late 1980s. During the 1980s asbestos cement materials were phased out in favour of asbestos-free products. From 31 December 2003, the total ban on manufacture, use, reuse, import, transport, storage or sale of all forms of asbestos came into force.

Many houses built before 1990 therefore contain asbestos cement materials, especially in the eaves, internal and external wall cladding, ceilings (particularly in wet areas such as bathrooms and laundries) and fences.

As a General Rule, if a house was built:

before the mid-1980s it is highly likely that it has asbestos-containing products

between the mid-1980s and 1990 it is likely that it has asbestos containing products

after 1990 it is unlikely that it has asbestos-containing products.

Some houses built in the 1990s and early 2000s may have still used asbestos cement materials until the total ban on any activity involving asbestos products became effective from December 2003.

To be absolutely certain if this property contains or does not contain asbestos, a sample must be taken from this property to a lab for testing, as this inspection is a visual inspection only.

Question D. 121. If you feel this property has asbestos-based products, WHERE do you assume they are LOCATED?

Answer I do not think this property has asbestos based products

I was engaged to carry out a visual inspection for asbestos, to obtain absolute certainty that this is or is not the case, a sample must be taken and brought to a lab for final and conclusive analysis

Question D. 122. Were there any asbestos-based products that were DAMAGED at the time of the inspection? If so, WHERE?

Answer No

I saw no damaged or cracked asbestos based products at the time of my inspection

Question D. 123. Do you recommend further DECONSTRUCTIVE investigation be carried out to determine if the property in question has asbestos concealed or unrecognizable in its current form?

Answer No

Question D. 124. Do you recommend a sample be taken from this property to a lab, to determine if the materials within this property contain asbestos?

Answer No

I do not believe this home requires a lab result due to the age of the property and due to what I could see at the time of my inspection.

Of course, should you want certainty, then a lab test with a sample taken from the property is required.

Question D. 125. Was there any broken or stockpiled / excess building waste or debris located within the property at the time of the inspection? If so, where?

Answer No, I saw no loose or broken asbestos fragments within this property

Question D. 126. In your opinion, does the roof void have loose fill asbestos or a product that looks similar to loose fill asbestos within the roof void?

Answer No

What I could see on the day of the inspection, I saw no loose fill products within the area of the roof void that was available and exposed to me at the time of my inspection.

On some occasions, loose fill asbestos is concealed and unable to be sighted at the time of our inspection, this must be taken into account prior to making a decision to purchase this property.

Part 10: Restrictions

Question D. 141. Areas not inspected including reasons were:

Answer *Roof plumbing (Gutters, Valley irons, Flashings, Downpipes, Box gutters) Due to height restrictions / safety / WHS

Unable to physically access upper roof cladding due to height/safety.

Answer *Roof cladding (roof tiles/sheets) above 2.7m in height

Unable to physically access upper roof cladding due to height/safety.

Answer ***Roof void due to skillion / flat roof construction**

No roof void was found due to the skillion / flat roof on site.

Answer ***Roof void was not inspected in full due to no access to the entire roof void (The roof void was inspected in part but not in full)**

Roof space; I did not access to the entire roof space

I was able to inspect the roof void in part / partial inspection of the roof void but not a full and comprehensive inspection due to limited space / restrictions within the roof void

Roof Interior - Access openings must be 500mm x 500 mm , with a Crawl Space of 600mm x 600mm - with a height accessible from a 2.7m step ladder or a 3.6m ladder is placed against the wall further investigations is recommended)

Answer **The subfloor area was not inspected in full, as the crawl space within the subfloor is minimal and not meeting current industry standards**

Answer **Subfloor - I did not inspect all aspects of the subfloor due to limited / restricted access within the sub floor**

Answer ***Concrete Slab & footings; Slab edges not exposed and un- inspect-able due to the way the property was built**

Unable to inspect the concrete slab and footings

The concrete slab edges were not exposed on the perimeter of dwelling and floor coverings.

Answer **Roof void was not inspected in FULL due to the crawl space was less than 600mm x 600mm**

Answer **SPECIAL NOTE: Should the areas noted in this section as "not inspected" or "not inspected in full" be altered or access provided a second inspection is recommended so I can advise on the conditions within those areas**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect rating A second inspection recommended

Question **D. 142. Areas to which access should be gained, or fully gained, are:**

Answer **Roof void**

Answer **Sub floor**

Answer **Single story Roof linings & Roof plumbing above 2.7m off the Finished Ground Floor Level**

We only inspect roofs that are 2.7m in height off the ground floor as we use a 3.6m ladder.

We inspect up to 3.6m high gutters, as we can lean our ladder up against the gutters to inspect them as we don't need to walk over the roof to inspect the gutters

This is all in line with WH&S guidelines for a single inspector

Answer **Upper 1st story roof cladding and plumbing**

Upper storey roof cladding was not accessed or walked on due to safe and reasonable access.

Answer **Garage storage**

The garage had storage against walls that restricted views of some wall and flooring areas.

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Should be inspected before you buy this property and ongoing once you own the property

Part 11: Summary of Defects and Safety Issues

Safety Hazards in this Building:

Question D. 45. Internal stairs; Are the stair stringers, handrails, balusters, treads and risers sufficiently rigid and free of damage?

Answer **The stair treads do not appear to have slip-resistant measures applied**

I cannot confirm if this is a fact or not

Under my visual inspection and slip test assessment, I assume the treads don't comply with current new building regulations

It is easy to have these stairs worked on / repaired / upgraded to comply with Building Regulations to prevent a fall from occurring

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location The timber staircase to the basement has a few small and short steps, that could be the reason for a person to fall down the staircase / that leads down to the basement

Defect Rating Safety hazard

Question D. 64. External Stairs; Are the SIDE, REAR or GARDEN stairs found around the property defect free?

Answer **Sloping & uneven treads & risers**

The stairs are sloping and uneven in size and inconsistent

Treads and / or risers of varying depths / heights

Some steps have larger risers and goings

The stairs are a safety hazard in their current condition, they do not meet current regulations

Answer **Missing grab rail**

No grab rail installed

Answer **Timber finish to the staircase is defective**

Timber finish to the staircase can be seen to be defective and in need of replacement, these works should be undertaken by a carpenter to limit further deterioration of the staircase

Answer **Water damage / rot to staircase**

The timber stairs need to be repaired, as they are not in good condition

A carpenter must be engaged to repair and make good the staircase treads and goings / stringer and substructure

Answer **Mould / mildew causing slipperiness**

There is the possibility that a person can fall due to the current conditions of the stairs, as they could be slippery when wet and when mould and mildew are found to be present on these stairs

Answer **No slip prevention measures in place**

Goings don't have slip prevention measures installed on the nosings, this area is a safety hazard and should be rectified as soon as possible

Answer **No handrail or grab rail installed to meet current building regulations**

Three or more steps constitutes a flight of stairs

All flights of stairs should have a handrail / grab rail installed

If the staircase and / or landing has a fall greater than 1m then a balustrade and handrail detail should be installed

It is common to find older style properties or properties not recently renovated to not comply with current building regulations, this is a common issue seen in older style properties

In my opinion, this is not a deal-breaker, as a handrail and / or balustrading detail is not expensive to have installed once you are the owner of this property

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Safety Hazard

Question D. 66. Balconies / verandas / patios / decks / suspended floors / retaining walls; Are handrails and / or balustrading installed where a fall is greater than 1m?

Answer **Missing handrails and balustrading**

Randomly found throughout the house, there are handrails & balustrades not installed in areas that require restraint measures installed

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Safety Hazard

Question D. 105. Retaining Walls, For walls over 700mm high only, Do they appear structurally sound? Are they defect free?

Answer **Handrail and balustrading required on top of the retaining walls**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location Garden behind the tennis court

Defect Rating Safety Hazard

Major Defects in this Building:

Question D. 94. Timber floor; Does the subfloor area appear to be adequately ventilated and free of dampness?

Answer **Inadequate ventilation within the subfloor areas inspected**

Inadequate crossflow ventilation within the subfloor areas

As with most older dwellings, subfloor ventilation is inadequate when compared with today's requirements

The older dwellings have small rooms and subfloor chambers and hence there is less opportunity for movement of air within the subfloor, this is often because many properties have objects placed up against the external walls and landscaping hard up against the

external walls, preventing natural air from flowing into the subfloor area

You could improve the subfloor ventilation to meet today's regulations / requirements if desired, as is advisable in older / period and brick dwellings

You can install additional air vents which would be a days work for a handyman and costs in the realms of \$600 to \$1,000

You could install a simple mechanical fan "DIY Pack" from \$600 for the equipment and an electrician can install it within a days work

Or

You could get a ventilation contractor to install a good quality mechanical fan system servicing the entire subfloor area for as little as \$1,500 and up to \$3,500 for a higher quality fan / low noise fan system

Answer Refer To Supplementary Text / Photos / Defect Rating

Location As there is no access below the timber floor, it is a high-risk issue due to possible pest infestation, as there is no access and due to poor ventilation / no ventilation to the subfloor area

Defect Rating Major Defect

Question D. 95. Timber floor & Masonry walls; Are the floorboards, floor framing & supporting walls below the damp proof course free of dampness, decay and defective free?

Answer Installation of a mechanical fan within the subfloor would be a good idea to improve the lowering of the moisture content within the subfloor members and foundation materials

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Major Defect

Minor and Other Defects in this Building:

Question D. 3. Ceilings; Are all ceilings free of sagging, nail popping, cracking, staining or other damage?

Answer Minor imperfections within the ceiling linings

Minor sagging and / or minor imperfections in places, I can see there is a combination of the following:

1. Sagging of the plasterboard ceilings in various locations
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

Any property beyond two years old can have cracks in the plasterboard and cornices and this will be rated a minor defect, and those defects may not all reach this report

If the property was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices

We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices

Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition

Any cracks in the ceiling linings that have roof access above could have been created by a service contractor or owner when accessing the roof void, making the cracks within the ceiling non-critical.

I recommend that all roof voids are not to be used as storerooms, as the additional loads to the roof framing, plasterboard linings and cornices may create or contribute towards cracks within the ceilings and cornices (Unless a new timber floor structure and floor lining boards are installed and are detached to the ceiling joints)

Answer **Minor cornice cracking**

Minor cornice cracks are seen between the cornices and ceilings and cornices and walls, this is possibly due to normal movement within a property and is considered an acceptable and non-structural issue

1. Cracks were found within the cornices where each length of cornices meet and are set together
2. A good plasterer and painter can repair and make good these issues quite easily and cost effectively.

All properties with the above issues should be monitored and if they further develop, a structural engineer should be engaged to assess and report on the entire property

Answer **Slight cracking to ceiling joints & cornices**

Minor cracks evident at the plasterboard ceiling joints, these cracks are not structurally significant.

1. Some sagging of the plasterboard ceiling is evident in places.
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

A property beyond two years old can have cracks in the plasterboard and cornices and it is not a major defect

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 6. Floors; Are floors free of movement such as spring, bounce and or cracking, are they free of dampness/staining and other damage?**

Answer **Minor spring / bounce / squeaky floor**

The flooring has minor spring and bounce, which is a typical issue within a timber floor and a building of this age

All timber floors tend to be bouncy underfoot when assessed

If the furniture begins to move when normal foot traffic is applied to the floor, a carpenter must be engaged to assess and report on the floor substructure (ground floor bearers and joists and first or second floor, floor joists) for the structural integrity of the floor

A pest contractor must inspect, report on and treat this property every six to nine months for pest activity

Good crossflow ventilation to the subfloor areas is a very important factor to maintain a healthy subfloor structure (structural members and floor coverings)

Ample air vents or a simple mechanical fan should be installed to encourage movement of air to the subfloor areas throughout the property if it does not already exist

Answer No expansion joints installed to the floor finishes

There are no expansion joints installed to the floor finishes

All floors must have expansion joints

It is good building practice to have an expansion joint every 5.5 L/M in timber flooring

Expansion joints should be installed to all timber, concrete, or tiled floor finishes that have a length of 5.5m or an area greater than 5.5m squared for tiled or concrete floor finishes

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Question [D. 8. Internal Doors & Frames; Do all doors and hardware operate freely and not bind on frames and are they free of decay/corrosion and other damage?](#)

Answer Weather damage evident to external door(s)

External door(s) are damaged due to not being adequately protected from the weather

Answer One or more doors bind on the frame

One or more doors bind on the door frame

The doors require minor adjustment, and once rectified, the doors are to be appropriately protected
(Painted or stained, so they are sealed)

Answer Minor maintenance required to the internal doors

Minor maintenance required to internal doors and doorjambs so the doors close and lock correctly and as originally installed and designed

Answer Door hardware requires adjustment

Door hardware requires adjustments so they operate as designed

Answer Robe doors bind and need attention to have them working well and as originally designed and installed

Robe doors bind and they need minor attention to have them working well and as originally designed and installed

Answer The doors have minor moisture seen within the doors leafs entering the property via the external doors

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| Answer | Missing door hardware Minor defect, easy and inexpensive fix |
| Answer | Linen cupboard doors bind on the doorjamb Linen cupboard door or doorjamb needs to be adjusted |
| Answer | Refer To Supplementary Text / Photos / Defect Rating |
| Defect Rating | Minor Defect |
| Question | D. 10. External windows & doors (Timber framed); Are all windows free of broken/cracked glass, damage to putty, staining/decay, or do they operate freely? |
| Answer | One or more window / door units have cracked glass One or more windows have cracked glass panes which should be removed and replaced |
| Answer | One or more window / door units require maintenance One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors |
| Answer | Do not operate freely or lock up the property The windows and doors do not operate freely and a carpenter needs to work on the door / window suites so the property can be locked up |
| Answer | Evidence of minor rotting Evidence of minor rotting found within the external doors / windows Repairs and re-painting are required by a painting contractor to preserve the timber members |
| Answer | Hardware Missing Window hardware is missing. |
| Answer | Window hardware damaged / not operating Window hardware is damaged or not operating as designed. |
| Answer | Weather damage evident to external door(s) External door(s) are damaged due to not being adequately protected from the elements. |
| Answer | Weather damage evident to external window(s) The external window(s) are damaged due to not being adequately protected from the elements. |
| Answer | The house is old / not built nor renovated post June 2013, but there are NO WINDOW restriction locks installed, preventing a person / child from falling out of the bedroom window I feel the house was built pre June 2013, therefore no window locks are expected to be found in this property, by law But I recommend that you have them installed to all bedroom windows to prevent a child / person from falling out the window |

Current legislation states that all new building projects / renovated homes that have windows within a bedroom, with a fall greater than 2m, the window sill height must be 1.7m from the internal finished floor level, If the windows are to open freely and greater than 125mm.

Window restrictors need to be applied to all windows that open greater than 125mm, with a fall greater than 2m, to prevent a child / person from falling out of the window if you want the old windows to comply with current building requirements

Window restriction locks can be easily installed within two minutes to most windows

Window restriction locks cost between \$1-\$10 per lock

If this house doesn't have the window locks installed when you move in, its an easy fix for any handyman homeowner

If this house doesn't have the window locks installed when you move in, I recommend that you have the locks installed yourself or by a locksmith as these locks save lives, especially with young kids when they jump on their bed or when windows are installed close to the finish floor level within a bedroom

Answer **The windows need to be prepared and re-painted**

Answer **The doors need to be sanded back / prepped & re-painted**

Answer **Not all external doors and windows were able to be opened / inspected / tested at the time of my inspection**

All doors and windows need maintenance and regular upkeep

Prior to purchasing this property, I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 14. Kitchen Doors & Drawer fronts; Do the cupboard doors and drawers operate freely?**

Answer **Cupboard doors / drawers misaligned**

Cupboard doors / drawers are misaligned requiring adjustment or replacement of the hardware.

Answer **Drawers swollen and binding**

Drawers are swollen due to exposure to excess moisture and are binding, modifications are to be made if able, or item to be replaced

Answer **Door and / or drawer hardware loose**

Door and / or drawer hardware is loose and requiring adjustment

Answer **The kitchen doors and drawer fronts and end panels need to be sanded back and retained**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

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| Question | D. 31. Bathrooms / WC; Are the BATHROOM WALL & FLOOR TILES free of cracks, drumminess, or loose / missing grout / sealant? |
| Answer | <p>Drummy tiles</p> <p>Tiles found to be drummy due to failed or inadequate adhesive</p> <p>These tiles could be left as is, though they have the possibility of cracks developing or dislodging from the substrate therefore could be replaced by a tiling contractor</p> |
| Answer | <p>Loose / missing grout</p> <p>Areas of grout can be seen to be missing which require re-grouting</p> |
| Answer | <p>Gaps / defective sealant</p> <p>Areas of sealant can be seen to be incomplete or defective requiring attention</p> |
| Answer | <p>No silicone sealant within the bathrooms</p> <p>Silicone sealant not evident at the time of inspection</p> <p>Sealant should be applied to all internal and external tiled junctions</p> |
| Answer | <p>Minor cracks in the FLOOR & WALL wall tiles junctions</p> <p>Typically, these cracks are minor and common issues found in most homes / bathrooms due to various reasons</p> <p>All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months</p> |
| Answer | <p>Minor cracks in the VERTICAL WALL TILE junctions</p> <p>Theses cracks are minor and commonly seen in most properties</p> <p>These cracks are typical settlement cracks seen within masonry and timber framed walls within wet rooms and bathrooms</p> <p>The reason for these cracks can vary but they are normally concealed by grout or silicone and we don't normally see them in new / modern bathrooms as current "new construction regulations" requires tradesmen to apply silicone to all internal junctions of the wall and floor, vertical wall tile junctions within the bathrooms, shower cubicles, laundry floors and walls plus kitchen benchtop and wall junctions</p> <p>All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months.</p> |
| Answer | <p>Minor cracks were seen in the WALL TILES & CORNICES / CEILING junctions</p> <p>Typical settlement of the wall and ceiling junctions makes these cracks appear</p> <p>These cracks are very common in masonry walls and timber-framed ceiling / floor structure junctions within bathrooms</p> |
| Answer | <p>Hairline cracks within the body of the WALL TILE MORTAR JOINTS</p> <p>I saw cracks in the grout of a wall tile</p> <p>The wall tiles can be loose and drummy, further investigation is required as it's not normal to see a tile with cracks within the tile or within the mortar joints around wall or floor tiles, as this could mean the glue has disengaged from the tile or the substrate or that there is an issue</p> |

within the substrate that is forcing the tile loose / off its original position

Further investigation is required

Answer **Cracked tiles**

Cracked tiles found at the time of the inspection; these items should be replaced

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 32. Bathrooms / WC; Is the SHOWER SCREEN free of defects or damage?**

Answer **Inadequately sealed at floor / wall junctions**

Inadequately sealed at floor / wall junctions:

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

Answer **Minor gaps in sealant**

Minor gaps in sealant

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 34. Bathrooms / WC; Are the SHOWER WALL & FLOOR TILES free of cracks, drumminess or loose / missing grout / sealant?**

Answer **Loose / missing grout**

Grout can be seen to be missing or dislodged requiring the area to be re-grouted

Answer **Gaps in the existing sealant / silicone / grout**

Gaps can be seen in the sealant, this will require the area in question removed and new sealant applied

Answer **No silicone sealant is applied within the BATHROOM**

All internal corners, both vertical and horizontal, should have silicone sealant applied to the junctions within the bathroom, WC, laundry

Answer **No silicone is applied within the SHOWER CUBICLE / internal junctions within the shower cubicle**

Within the shower cubicle, there should be silicone or a flexible sealant applied to all wall and floor tiles junctions, plus vertical wall tile junctions and wall and floor tiles where they meet the shower screen, this is not the case within this property

This is an easy fix for any handy person or tradesman

This assists in retaining moisture within the wet room / shower cubicle and this assists in limiting any cracks occurring within the wall and floor tiles when the building settles / moves between seasons

This is a minor defect and commonly found in older style homes or not so recently built or renovated properties

Answer I suggest you apply a bead of silicone to all internal junctions within the shower cubicle (over the existing grout / sealant) to keep all moisture within the shower

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Question D. 41. Laundry; Are the WALL & FLOOR TILES defective (Cracks, drumminess, or loose / missing grout / sealant?)

Answer Loose / missing grout

Re-grouting of tiled area required.

Answer Defective / Gaps within the existing sealant / silicone

Sealant should be re-applied to areas where it is not currently evident

Answer The laundry BENCHTOP and wall junction has missing / defective silicone applied to this internal corner

It is best to seal the laundry tub and / or the laundry benchtop to the wall / splashback so that no moisture falls behind the laundry tub or cupboards and it prevents mould and dampness within the laundry room

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Question D. 58. External Walls / Lintels / Beams (Structural assessment) Are the lintels, walls or beams sufficiently rigid and free of defect / damage / cracks / moisture?

Answer Minor cracks within external brickwork

The house has minor cracks seen within the external elevations of the property

These cracks are typical and non-structural issues, should they open up or develop over time, a structural engineer should be engaged

This is a minor defect in the current condition of the property

Answer Cracks in render, minor

Cracks found within the rendered finish

Cracks appear to be minor in nature following the line of brick joints

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Question D. 59. External walls (Non-Structural elements assessment) Are all walls, wall cladding and soffit linings free of defect / damage, and are the paint / coatings maintained?

Answer Weep holes covered

Weep holes missing

Weep holes could be covered by soil / vegetation / pathways / render

You should remove the render or obstructions in front of the weep holes

You should lower soil levels so that subfloor vents are clean and allowing free-flowing air to the cavity and subfloor area

Covered weep holes also provide concealed entry points for termites

Having no weep holes allows water entry into the subfloor area, internal cavity walls and internal walls of the property

The water within the cavity walls cannot be expelled from the building / walls and sometimes you will see moisture within the internal walls, skirting and floor coverings due to concealed or missing weep holes

If the weep holes are concealed, it allows the water to pool within the subfloor area attracting pest / termite activity, this is also conducive to termite infestation and timber fungal decay

Answer No DPC seen through the render walls

All walls rendered should have the control joints and damp proof course exposed through the render, so that it doesn't allow bridging of the external render / linings

Answer No DPC seen within the face brickwork

The external face bricks did not expose where the Damp Proof Course is installed within the face brickwork, the DPC could be embedded within the mortar bed but I could not see it at the time of this inspection

Answer Craze cracking in rendered finish

Non structural imperfections seen in the rendered finish

Cracks found are assessed to be existent in the external lining and not in the masonry wall / substrate

Answer Air vents / grills covered and / or blocked

The air vents installed to the external walls are covered / obstructed which will allow pests and moisture to enter the subfloor area if left as is

The purpose of air vents is to allow fresh air ventilation to the subfloor area meeting current or past regulations

I see that there is inadequate vents / grills within the external walls making the subfloor area non-compliant due to poor / reduced volume of air for ventilation and poor crossflow ventilation to the subfloor area

Answer Air vents / grills missing from the external walls

The purpose of air vents is to allow fresh air ventilation to the subfloor to meet current or past regulations

I see that there are missing vents / grills from the external walls, therefore making the subfloor area non-compliant due to poor ventilation and poor crossflow ventilation to the subfloor area

Answer **Soffit linings are defective within the verandas / decks / patios**

Repairs are required to the external ceiling linings

Answer **Minor damages / hairline cracks in the wall cladding**

Answer **Minor cracks seen within the external rendered walls**

Answer **Moisture damage to the eaves / soffit lining boards**

Finding the reason / source of the water entry to the eaves / soffit lining boards is required and once repaired, the eaves also need to be repaired and re-painted

Answer **Refer To Supplementary Text / Photos / Defect Rating Below**

Defect Rating Minor Defect

Question **D. 60. External "Walls & Doors/Windows"**

Answer **Missing weep holes above/below the windows or doors**

All doors and windows should have had flashings installed when they were originally installed within the cavity, directed to the external walls of the property

Weep holes allow any water within the cavities to seep out from the walls/cavities

I assume there are concealed flashings above and below the external doors and windows, this property has minimal to no weep holes above or below external doors and window openings

Lack of weep holes will create dampness within the cavity and within the internal wall linings and it will contribute towards the render cracking and render crazing, this will eventually become drummy and fall off the wall, any timber attached to the walls in question will rot and deteriorate before its natural time

THIS IS A MINOR DEFECT / ISSUE

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 61. Wall Cladding "Flashing & DPCs"**

Answer **I cannot see a damp proof course / flashing evident at the BASE of the external walls within this property**

I did not see a damp proof course (DPC) within ALL EXTERNAL WALLS within this building

I am not confirming that there is not a concealed DPC within the mortar joints but I am confirming that I did not see the normal PVC / LEAD / SLATE damp proof course embedded within the external walls / brick joints within the external elevations within this property

It is best practice to have all surrounding surfaces around the building clear of any materials that may retain moisture, with minimal garden beds up against the building

All hard surfaces around the building should direct the surface water and any stormwater away from the building, keeping the walls, foundations and footings of the property as dry as possible limiting the possibility of rising damp.

THIS IS A MINOR ISSUE / DEFECT

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| Answer | <p>I cannot see flashings evident above and below WINDOWS AND DOORS (masonry walls)</p> <p>Flashings should be installed above and below each window and door unit</p> <p>Weep holes should be installed to allow moisture to seep out of the wall cavities</p> <p>When no weep holes are installed or seen in a property such as this one, it raises the possibility of moisture being trapped within the internal skin of the property</p> <p>NOTE:</p> <p>This is a common problem found in properties that are rendered after the original build</p> <p>Builders and bricklayers often install flashings and weep holes when they build a new building, but when new owners move into a property they often render the external wall linings and the weep holes get covered over by the renderer and painter as they don't always expose the weep holes</p> <p>All period buildings that are not renovated do not have weep holes installed over the doors and windows as it was not industry standards back when this home was built</p> <p>THIS IS A MINOR DEFECT!</p> |
| Answer | Refer To Supplementary Text / Photos / Defect Rating |
| Defect Rating | Minor Defect |
| Question | D. 65. Balconies / Verandas / Suspended "Floors & Walls"; Do they appear structurally sound, free of defects? |
| Answer | <p>Timber decay, major</p> <p>Immediate repairs required as it unsafe to leave it as it is</p> |
| Answer | <p>Timber flooring, defective</p> <p>Timber flooring could be seen to be defective requiring attention</p> |
| Answer | <p>Timber floor has a bounce within the structure</p> <p>The timber floor is bouncy underfoot when assessed</p> <p>A carpenter needs to assess and make good the structure</p> |
| Answer | <p>Missing expansion / control joints with the floor</p> <p>It's best to have expansion joints and / or control joints within floor structures and finished floor linings every 5.5m in each direction</p> <p>Control joints / expansion joints accommodate for settlement / growth and shrinkage of the substrate and finished floor linings to allow for ongoing movement within a building</p> <p>This area of the property doesn't have an expansion / control joint installed within the floor</p> <p>Minor defect if left as is, but could be implemented easily and quite quickly and inexpensively, this will allow you to control were the cracks and future movement will show up should the property re-settle between periods</p> |
| Answer | Missing grout in the floor tiles |

Answer **Loose timber decking boards**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 67. Timber deck(s); Are the timber members (Bearers, Joists & Decking Boards) compliant with current regulations?**

Answer **Decking is loosely fixed**

Decking boards were seen to be loosely fixed, these areas could be seen as a trip hazard and should be attended to by a carpenter

Answer **Dry / wet rot within the timber structure**

Dry/wet rot can be seen within the timber structure, these areas should be attended to by a carpenter to ensure the integrity of the structure is maintained.

Answer **The hardwood decking boards are in direct contact with the adjacent finished surfaces, wet rot can and will develop over time in the non-accessible areas of the hardwood decking boards**

This is a minor issue, but it should be looked at once you move in as it's cheaper to maintain your property than to repair / replace or re-build a defect / issue

Answer **No / defective ant capping installed**

Ant capping was defective or not evident at the time of inspection.

Answer **Handrails installed under 1000mm**

Handrails installed are under 1000mm in height

The handrail and balustrading details are non-compliant, this is a major safety issue that should not be ignored

You should have a builder or balustrading contractor attend the property and have this made good ASAP

Answer **Non-structural / loose handrail & balustrade detail installed on site**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D 70. Roof tiles, shingles, slates: Is the roof free of cracked and broken / decayed tiles? SPECIAL NOTE: The Inspector takes minimal photos whilst on the roof so the inspector's hands are free during the inspection for safety reasons and photos are generally taken from afar, if any**

Answer **I did assess the roof tiles from a distance BUT NOT IN FULL! This assessment is not a complete and comprehensive assessment of the entire roof as I could not access / assess all areas at the time of my inspection**

I did not access all roof tiles & roof plumbing as it was above the maximum height required for the safe use of a 3.6m in height ladder

As per Work Health Occupation Safety regulations, any roofs with a gutter line over 2.7m from the finished ground level is inaccessible for a single inspector using a 3.6m ladder, and that was the case with this property

All roof tiles / roof plumbing and any other elements associated with the roof and located within the external roof linings are excluded from this report

If I comment on the roof, and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level) or from the overlooking windows or verandas, but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property

If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a harness and a second inspector, and then you can rely upon the facts and findings within that report

The roof tiles and roof plumbing on this property are excluded from this assessment and this report

Answer **Even though I did not see all elevations of the roof, I can say what I saw was all in order with little to no defect to report on**

Answer **Dislodged tiles & minor adjustment of the roof tiles and flashings are required to keep the house watertight**

Dislodged tiles in a few areas
Minor cracks were seen within the roof tiles
Minor gaps were seen in the roof tiles and valley iron junctions
I encourage you to engage a roof tiler to rectify this issue

Answer **Minor repairs are required to the roof elevation to make the roof linings / roof void watertight**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 71. Roof Sheeting, is the roof free of corrosion, or other defects/damage?**

Answer **Extensive rust found within the roof sheeting**

Extensive rust was found on the roof sheeting

Replacement is required ASAP

Call a roofing contractor to have this made good and the house watertight

Answer **Minor dents in the roof sheets, flashings and capping's**

Minor imperfections / dents and undulations within the metal deck roof sheets, roof flashings and capping's

Answer **Considerable rust seen within the roof sheets / roof plumbing**

The rusted roof sheet/s should be replaced as they could allow water entry now or in the near future if not addressed

Replacing a single sheet is not an expensive nor labour-intensive exercise

You shouldn't be disheartened by this issue as it is a common issue found in older properties

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location

The garage roof sheeting and roof plumbing needs to be repaired due to rust and damage within the roof sheeting

Defect Rating Minor Defect

Question [D. 76. Valleys / Gutters / Downpipes; Are they free of rust and do they appear to drain effectively?](#)

Answer **I did not access the roof & roof plumbing above 3.6m in height**

I did not access the roof & roof plumbing as the gutter line was in excess of 2.7m from the ground level below.

As per Work Health Occupational Safety Regulations, any roof with a gutter line over 2.7m from the ground level below level is inaccessible for a single inspector as it does not allow the safe use of a ladder as detailed in AS4349.1-2007 section 3.2.2 - Safe and reasonable access, this was the case with this property

If I comment on the roof / roof plumbing and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level or from the overlooking windows or verandas) but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property

If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a second inspector and then you can rely upon the facts and findings within our report

The roof sheeting and roof plumbing on this property is excluded from this assessment and this report

NOTE: If comments are made on the roof plumbing, it's because we reported on the areas below 2.7m in height in this report, but anything above that height is excluded from our assessment and this report

Answer **Damaged / Dented downpipes**

There are downpipes that need to be repaired within this property

Damaged and dented downpipes may lead to excess pooling of water under the subfloor area of the house or deck, pooling water or damp subfloors can draw termites to a property

Downpipes are not costly items to be repaired or replaced, most handy homeowners can replace a downpipe within thirty minutes with supplies from bunnings or a plumbing supplier

Answer **Downpipe joins leaking**

Downpipe joins leaking, have a roofing plumber repair / seal this issue while it's a minor defect

Answer **I inspected the gutters below 2.7m from the external finish floor level and they appear to be in fair condition subject to the age of the house**

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question [D. 77. Eaves / fascias / barge; Are they free of corrosion / decay and do they appear to be sufficiently rigid?](#)

Answer **Eave and soffit lining, detached / defective**

Eave and soffit lining detached, damaged and loose.

Get a carpenter to repair or replace the eaves / soffit linings.

Answer **Eave and soffit lining, staining / bubbling visible**

Staining / bubbling visible

Have a painter re-paint / treat the surfaces to preserve the timber / fibro linings

The staining appears to be old and not a recent leak, but the staining is visible

Staining can occur due to blocked guttering

An assessment by a plumber is advised prior to the painting of the timber or fibro

Answer **Damaged / defective eaves linings**

The eaves / soffit linings are in place but they are in need of repair due to the defects seen within the eaves linings

Answer **Moisture damage to the eaves / soffit linings board**

Moisture / discolouration of the eaves linings, source of moisture should be determined and repaired and then the lining board should be repaired / made good

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 85. Sarking; Is there building foil in place, and is it free of holes/tears or other damage?**

Answer **Yes, sarking was installed to the areas that I could see whilst I was within the roof void**

No major defects were seen within the sarking within this roof space

Sarking is a secondary measure to collect any driven water / rain that penetrates the roof linings, sarking should be installed to drain into the gutter or outside elevation

In some cases, sarking are not falling / connected into the gutter line and in some cases, the eaves lining then becomes waterlogged / damaged and wood rot can develop within the timber members that are in direct contact with the sarking

When sarking is installed it prevents me from seeing all the elevation / defects within the roof lining as they conceal elements of the roof lining

It is very important to keep an eye out and to check the roof void regularly because if the valley irons or gutter line junctions have daylight coming through theses junctions, that means water could enter the roof void

Answer **Tears within the existing sarking**

Tears and holes exist in the sarking, the sarking should be repaired and monitored for any future water entry points

Minor defect

Answer **Sagging sarking / defective insulation**

A handyman can fix this issue or a roofing contractor within a few hours

In some cases, I have seen the foil not connected to the gutter line which damages the timber framing and soffit linings, but I cannot confirm if this is the case for this property, as I could not see the sarking and gutter line junction within the roof void

When sarking is installed it prevents me from seeing all the elevation / defects within the roof lining as they conceal elements of the roof lining

It is very important to keep an eye out and to check the roof void regularly because if the valley irons or gutter line junctions have daylight coming through these junctions, that means water could enter the roof void

Minor defect

Answer **Daylight can be seen to be coming through the roof linings / flashing / junctions within the roof void**

In some cases, daylight within the roof void doesn't mean that water enters the roof or property below

It's always best to have a roofing contractor inspect and assess the roof once you move in

Minor adjustments to the existing roof can result in drastic improvements in having the roof void and building below watertight

Answer **Gaps exist beneath flashing(s)**

Gaps can be seen beneath flashings

These areas should be attended to, so as to stop wind-driven rain from entering the roof space, these works can be carried out by a roof plumber or handyman for minimal cost

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Minor Defect

Question **D. 110. Surface water; Does rainwater drain effectively away from the buildings?**

Answer **There is water pooling on the pavement and external walls / supporting member of the building, water is pooling on the pavement and wall / footing junction**

Paving or paths along the sides of the property require amending to fall away from the walls of the dwelling

See a plumber or landscaper to assess, further investigation required

Answer **There is natural ground / soil / lawns found hard up against the buildings, water is able to pond against the building**

Ground and / or lawn along the sides of the property require amending to fall away from the walls of the dwelling

See a plumber or landscaper to assess, further investigation required

Answer **There are garden beds installed against the external elevations of the property**

Having garden beds installed close to or hard up against a building / your property is not ideal

Most homeowners love the idea of having soft landscaping next to a hard structure, but in fact, it attracts moisture to the foundations, footings and subfloor areas of the property

All moisture should be directed away from a building / supporting wall / member and subfloor areas

It is common to find masonry walls within subfloor areas to be affected by dampness / moisture, with no building defect to be found but the moisture within the subfloor walls, this can be due to the owners watering their gardens which are in close proximity to the subfloor walls or adjacent foundations of a property

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Question D. 115. Swimming Pool; Does the pool coping tiles / pavers appear to be in good condition? Is there an expansion joint between the pool coping tiles and pool concourse floor finish?

Answer No, There is no expansion joint in the coping tiles

Answer No, The coping tiles are defective and in need of repair

Answer No, There is no expansion joint in the pool concourse

Answer No, The pool coping pavers need to be repaired - loose / chipped pavers worked

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Part 12: Other Inspections & Reports Required

Question D. 145. Recommendations for further inspections

Answer Pest Inspection and site treatment covering the Sub floor and roof voids + all external elevations of the property

Answer Electrician to carry out a power and light circuit test

Answer Electrician to test and certify the smoke detectors

Answer Roof plumber to inspect the roof linings and roof plumbing due to the roof not being inspected within this report

Answer Carpenter to inspect the sub floor area once access is provided

Answer Carpenter to inspect the roof void once access is provided

Answer Pool compliance officer to assess and comment on the pool compliance issues

Answer All Appliances

Answer Gas / Electrical / Oil water heaters & fixtures

Answer All Air Conditioner units and ducting

Answer All pool equipment / plant and service lines

Answer Electrician to check all wiring and fixtures and fittings and compliance matter

Answer Plumber to check all Water supply, Sewer and stormwater lines, Gas supply and all the fixtures and fittings attached to the gas and water lines and all compliance matters of the plumbing and gas trades

| | |
|-----------------|--|
| Answer | Council chambers for any outstanding compliance matters of the existing built form / structure and fitout, or the private certifier if works have been done under there control / approval to see if there are any outstanding and ongoing issues within the property |
| Question | D. 146. Overall condition and conclusions |
| Answer | This property is well built and maintained to a high standard for the age of the property |
| Answer | This property is beautifully presented and maintained, a true reflection of the love and commitment from this owner or previous owners |
| Answer | This property needs minor repairs carried out to it once you have moved into the property |
| Answer | I saw no water entry within the Core Fabric of the building (Internal Walls, Floors & Ceilings) |
| Answer | The property has NO MAJOR Structural Cracks at the time of this inspection |
| Answer | There are minor compliance issues that need to be addressed within the property for the safety of the occupants |
| Answer | There are a number of compliance issues that should be addressed for the safety of the occupants or their visitor |
| Answer | I saw no current pest inspection sticker within the electrical meter box or within the kitchen cupboard doors, it is best to have this house inspected and sprayed / treated every 6-9 months |
| Answer | The external handrails and balustrade are not compliant with current regulations, for the best interest of the occupants and visitors this area of the house should be made compliant with current regulations to limit liability |
| Answer | The property should have the bedroom windows made compliant with current fall protection regulations |
| Answer | This property has wet and dry rot in a number of timber members |
| Answer | I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing |
| Answer | I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available |
| Answer | I saw no past or present pest activity within this property |
| Answer | I see little risk in purchasing this home it in current conditions subject to the buyer having read this entire report and they understand the areas of improvement and noted within each component of the property that are required to be made good or upgraded |
| Answer | This property is in GOOD condition for its age |
| Question | D. 147 Overall condition summary - appears in summary of the report Excellent - True MasterPiece 10/10 - Rating Very Good Condition 9/10 - Rating Good Condition 7 - 8 out of 10 - Rating Average Condition 6 - 7 out of 10 - Rating Fair Condition 5 out of 10 - Rating Bad Condition 3-4 out of 10 Rating Very Bad Condition 0-2 out of 10 Rating |
| Answer | GOOD CONDITION - 8 out of 10 |

Part 13: Cracking to Building Members

D. 127. Are there any major or significant cracks within the CORE BUILDING FABRIC: Note : **No**
Building members are core members to the dwellings (not cosmetic or finish linings as these are easily repaired and no advice is required by an engineer)

Part 14: Conclusion & Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered:

Typical

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered:

Typical

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

GOOD CONDITION - 8 out of 10

Overall Condition Comments:

This property is well built and maintained to a high standard for the age of the property, This property is beautifully presented and maintained, a true reflection of the love and commitment from this owner or previous owners, This property needs minor repairs carried out to it once you have moved into the property, I saw no water entry within the Core Fabric of the building (Internal Walls, Floors & Ceilings), The property has NO MAJOR Structural Cracks at the time of this inspection, There are minor compliance issues that need to be addressed within the property for the safety of the occupants, There are a number of compliance issues that should be addressed for the safety of the occupants or their visitor, I saw no current pest inspection sticker within the electrical meter box or within the kitchen cupboard doors, it is best to have this house inspected and sprayed / treated every 6-9 months, The external handrails and balustrade are not compliant with current regulations, for the best interest of the occupants and visitors this area of the house should be made compliant with current regulations to limit liability, The property should have the bedroom windows made compliant with current fall protection regulations, This property has wet and dry rot in a number of timber members, I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing, I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available, I saw no past or present pest activity within this property, I see little risk in purchasing this home it in current conditions subject to the buyer having read this entire report and they understand the areas of improvement and noted within each component of the property that are required to be made good or upgraded, This property is in GOOD condition for its age

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

We take this opportunity to thank you for your instructions and we look forward to working with you again.



Emilio Calandra
The Property Inspectors

Definitions

High: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Low: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Major Defect: Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect: Any Defect other than what is described as a major defect.

Accessible area: is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Part 15: Pests

Termites

*** S. 148. WERE ACTIVE (LIVE) TERMITES FOUND?

***** WERE ACTIVE (LIVE) TERMITES FOUND? *****, No visible evidence of active termites found at the time of inspection in the areas that were able to be inspected and noted within this report as inspected , ***** IS A TERMITE MANAGEMENT PROPOSAL RECOMMENDED? *****, Although we are not engaged to provide a termite management proposal, a full written proposal is strongly recommended.

Please contact a licensed pest control operator for further advice.

This recommendation should be implemented as a matter of urgency and prior to you buying this property

A full written subterranean termite management proposal is recommended in accordance with Australian Standards, I have claimed that I have not seen any timber damage due to current termite activity within this property

NOTE:

If the inspector claims he has not seen any termite activity within the areas that he has inspected, this does not mean that there are no termites within the property

The inspector does not lift the roof insulation batts, nor can he inspect all timber junctions and timber members within the roof voids, sub floor areas or within the wall cavities due to limited access and limited time available to inspect this property for this pre-purchase inspection and report.

In some cases the vendors belongings can conceal current and past termite activity.

We strongly recommend a pest contractor assess and chemically treat the property prior to being purchased, this will give you a twelve month warranty over the property and it will give you a firm security over the property prior to you investing in it, ***** WAS EVIDENCE OF TIMBER DAMAGE VISIBLE? *****, ***** WAS EVIDENCE OF A POSSIBLE PREVIOUS TERMITE MANAGEMENT PROGRAM NOTED? *****, I have claimed that I have not seen any timber damage due to current termite activity within this property

NOTE:

If the inspector claims he has not seen any termite activity within the areas that he has inspected, this does not mean that there are no termites within the property

The inspector does not lift the roof insulation batts, nor can he inspect all timber junctions and timber members within the roof voids, sub floor areas or within the wall cavities due to limited access and limited time available to inspect this property for this pre-purchase inspection and report.

In some cases the vendors belongings can conceal current and past termite activity.

We strongly recommend a pest contractor assess and chemically treat the property prior to being purchased, this will give you a twelve month warranty over the property and it will give you a firm security over the property prior to you investing in it, ***** WAS EVIDENCE OF TERMITE DAMAGE FOUND? *****, ***** WAS THE ENTIRE SUBFLOOR INSPECTED? *****, No it was not, ***** DO YOU RECOMMEND A SECOND INSPECTION BY A SPECIALIZED PEST CONTRACTOR?, Yes**, I recommend a specialized pest contractor be engaged to carry out an inspection of this property, ***** NEXT INSPECTION RECOMMENDED IN *****, This property is an extremely high-risk property for ongoing termite issues

Chemical Delignification

***** S. 156. WAS EVIDENCE OF CHEMICAL DELIGNIFICATION FOUND?**

No Chemical Delignification was found

In the past this type of timber damage has been referred to using many different terms, Hairy Timber or Defibrosis.

In the early 1990's it was agreed that the true description of this type of timber deterioration is Chemical Delignification.

This term describes the deterioration in its true form, the lignin in timber is damaged by airborne chemicals.

Lignin is the natural glue that holds the fibres of wood together and is therefore a major component of any wood. When the lignin is broken down or damaged the fibres then detach from each other creating a visible hairy surface to a section of the timber, as the delignification progresses the structure of the timber section is weakened and therefore chemical delignification is regarded as a structural pest of timber in service.

Chemical Delignification damage is most commonly found in timber sections used as roof tile battens of buildings that are located in close proximity to the sea, large chemical factories or major arterial roads that have heavy traffic.

Buildings close to the sea are exposed to salts brought to land by wind and sea breezes and dwellings within five kilometers of the sea are often found to have chemical delignification in their roof tile battens.

Buildings surrounding chemical factories that have chemical delignification would indicate that the air quality where this building is located is influenced by the chemical production process and/or use of chemicals by the adjoining industry. The cost of repair of the chemical delignification damage would need to be taken into account when this damage is found but it also would be prudent to consider the possibility that the air quality in the area may be affected by chemicals and therefore if any health hazards are present that could cause long term damage to an occupants health.

Buildings found to have chemical delignification that are in close proximity to a major arterial road would often be affected by fumes from vehicles using the adjoining roads.

Chemical delignification generally will not occur to timbers in service that are sealed, painted or well oiled as the lignin is protected from airborne chemical substances.

Therefore as with most timber damage if we can remove the cause of the damage or protect the timber from exposure to the cause of damage the damage will cease. If the damage is initiating, the timber section can be painted or oiled to stop further deterioration, where the chemical delignification damage is advanced then replacement of the damaged timbers is needed.

When chemical delignification is found in roof tile battens or rafters then it is recommended not to have persons walk on the roof as collapse may occur and therefore a fall could cause bodily injury.

Chemical delignification is more common in species of softwood timbers although certain species of softwood are more prone to damage than others.

Chemical delignification may only occur after timbers have been exposed to airborne substances for a relatively long period of time, it is

not common to find chemical delignification in buildings that are younger than ten years.

The most common timber species that is used in buildings in the Sydney area that we find damaged is the Douglas fir otherwise known as Oregon. Douglas fir is an imported timber species that originates in Northern America and Canada.

Wood Borers

*** S. 157. WAS EVIDENCE OF WOOD BORERS FOUND?

No borers were sighted today in the areas that I could gain access to within the subfloor area

This home must be treated by a pest contractor prior to purchasing this property if you want to be certain that there are no active borers within the house, garden and surrounding structures within the boundary of this home

Fungal Decay

**** S. 158. WAS EVIDENCE OF FUNGAL DECAY, WET OR DRY ROT FOUND?

Yes within the external doors, Yes within the external windows, Yes within the soffit linings, Decking boards, Timber stairs, Balustrading, Yes within random timber members within the garden, Handrails, Bearers and Joists, Staircases - timber members, Timber posts, Fungal Decay was found within this property / Timber In Service

The reproductive spores of a mould fungus and the vegetative threads (mycelium) of a wood decay fungus, the latter usually white, if present in sufficient quantities, can be seen with the naked eye. However, vegetative growths of wood decay fungi may be cream, brown or black.

Wood Decay fungi prefer to grow where conditions of temperature and moisture content are not subject to fluctuation. For timber out of ground contact, such a stable situation is more often deep in the wood than on the surface. When the fungus has exhausted the available nutrient from the timber, new growth is supported by feeding on the older growth and so the fungus may grow on other surfaces away from the timber leaving very little visible evidence of fungal growth on the wood itself. Soft rot fungus for example.

Types of fungi that damage timber

Not all fungi are capable of damaging wood. Furthermore, not all fungi that can grow on or in wood are capable of damaging the wood structure itself. Very few species of fungi are to be found on or in timber. Mould fungi are found only on the outside of timber but do no damage. Sapstain fungi consume only the sugars from sapwood and

cause no change in the relevant strength properties of the timber. A few species of wood decay fungi damage the cellulose component of timber only; other species damage both the lignin (plastic) and cellulose components.

Types of Decay in Australia

In general, decay of floor boards is caused by brown rot fungi, decay of window joinery by either brown rot or white rot fungi and decay of weatherboards often by white rot but sometimes by brown rot fungi. Supporting stumps and fence posts decay from soft rot but may also have either brown or white rot. *Serpula lacrymans* (formerly *merulius lacrymans*) is the world's most destructive fungal decayer of timber in buildings. This brown rot fungus has an optimum temperature for growth at 20 degrees C (c.f. most wood decay fungi 25-28 degrees C).

Consequently, this fungus causes widespread damage in poorly ventilated sub floor areas in buildings in Sydney where sub floor areas may be protected from the extremes of external temperatures. Probably as a result of high external temperatures, a species of coniothecium (also causing brown rot) is believed to be the commonest timber decay fungus in Australia.

Severity: Severe

Tree stump in the garden

Conducive Conditions

*** S. 159. CONDUCTIVE CONDITIONS

*** IS THE SUBFLOOR WELL VENTILATED ***,

This property needs a ventilation system installed within the sub floor to improve cross flow ventilation

A sub floor fan is not expensive to have it installed and it will improve the sub floor ventilation issue instantly / over a short period of time. You will see a considerable improvement in the overall sub floor area if the correct fan is selected and installed or additional external and internal air vents are installed within the sub floor area of this property , *** WAS EVIDENCE OF EXCESSIVE MOISTURE FOUND? ***, Water is pooling on the soil adjacent to the building structure.

This maybe due to a drainage problem or some other factor.

This should be rectified as moist soil conditions are highly conducive to timber pest attack, ideally contact a plumber for their opinion. , Poor sub floor ventilation and drainage needs to be improved

This should be rectified as these conditions are highly conducive to timber pest attack., Damp soil conditions abutting the building structure.

This maybe due to a drainage problem or some

other factor.

This should be rectified as moist soil conditions are highly conducive to timber pest attack., Unable to comment about the entire sub floor, as I had NO access to the sub floor, *** WAS FINISHED GROUND / PAVING LEVEL ABOVE INTERNAL FLOORS OR OBSTRUCTING WEEP HOLES / AIR VENTS?, The level of some external soil/concrete paths/paved areas is either higher than or at a similar level than, of that of the internal floors.

This situation may allow or have allowed concealed termite entry and also may cause drainage issues.

We strongly recommend the lowering of concrete and/or soil to that area(s) below the internal slab/ floor level to reduce the risk of concealed termite entry and drainage issues., Garden beds close to or abutting the external walls of the structure and have breached any previous barriers.

These can allow concealed termite entry into the structure, we recommend the removal of these gardens and termite treatment to rectify.,

Concealed weep holes, where weep holes are partly or fully covered by such things as paths, patios, pavers, lawn, soil, gardens, etc, they may allow concealed termite entry into the structure. Weep holes are installed in external brickwork to allow water penetrating the wall to leak back outside the structure.

The weep holes have been either partly or fully covered.

Apart from preventing water from escaping, this may allow concealed termite entry into the external walls (this may already be the case).

The termites may not be detected until they cause damage either to the inside of the structure or to the roof void timbers.

You should obtain written details of any termite barrier that may have been installed to prevent the concealed entry point.

If no such barrier has been installed or the expected life span of the barrier has passed or is about to pass, then you should arrange for the weep holes to be exposed or a termite barrier to be installed., The sub floor vents have been partially covered by an exterior element, either soil or concrete slab. This limits the air flow to the sub floor space not allowing it to dry which will see potential from pest attack., *** WAS EVIDENCE OF BRIDGING OR BREACHING FOUND? ***, Concrete slabs/paths placed against the external walls and slabs of the structure increase the chances that pest / termites can enter the cavities of the building via concealed openings within the external walls and floor junctions.

We recommend the lowering of these slabs/paths

to 75 millimetres below the slab edge or the use of a chemical termiticide treatment as an alternative method if no treatments were made, or if the life expectancy of the treatment has expired or nearly expired.

, * WAS EVIDENCE OF ANY OTHER CONDITION CONDUCIVE TO TIMBER PEST ATTACK FOUND?**

*****, Some external timber(s) are in contact or in close contact with the concrete/soil. This may allow or have allowed concealed timber pest activity and/or damage. The situation should be modified so that timber to ground contact does not occur. A clearance of at least 75 millimetres is recommended., Stair timbers are in contact with or are in close contact with; concrete and/or earth. You must arrange to either remove, or modify so this does not occur. Timbers in ground contact or in close contact to earth may allow concealed access for termite activity. A minimum clearance of 75 millimetres is recommended., The subfloor area within a building/house/apartment is considered a high-risk area for pest activity, especially when there is no access to the subfloor to regularly inspect the subfloor**

Subfloors are a high-risk area due to it being a common fact that many subfloor areas are dark and damp and not commonly visited by most occupants of a property and due to it being commonly used to store personal belongs for extended periods of time which also increases the possibility of pest infestation.

Access is considered essential as it could be harboring timber pest activity and/or damage.

No comment is made where access was not achieved., Ant capping is missing, we recommend you have this addressed via installing new ant cappings or by having the property regularly inspected and treated by a pest contractor , I suggest you consider having the lineal ant cappings installed (retrospectively) or have a pest contractor inspect and report on the subfloor conditions on a regular basis

Obstructions

***** S. 165. WHICH OF THE FOLLOWING AREAS WERE NOT ABLE TO BE INSPECTED *****

The roof void of the house has not been inspected in full

We, therefore, exclude this entire area from our assessment and our report

We take no responsibility or liability for this portion of the property , We gained access to the subfloor area IN PART only

Due to restricted access / spaces within the

subfloor area we could not inspect all subfloor chambers within the subfloor area

We therefore could not access and report on ALL AREAS and nor do we know the conditions of the entire subfloor floor area, and we therefore exclude the entire subfloor area of this property from this report (Building & Pest report) , External roof linings and roof plumbing

*** S. 166. AREAS INSPECTED (IF AN AREA IS NOT INSPECTED AND NOT STATED BELOW, THAT AREA IS EXCLUDED FROM OUR INSPECTION AND THIS REPORT AND OUR LIABILITY, IF AN AREA WAS INSPECTED IN PART AND NOT IN FULL IT IS DEEMED AS EXCLUDED FROM OUR REPORT AND OUR LIABILITY) ***

Interior (Internal walls and floors were inspected), Exterior (Wall and floors / main pathways), Roof void was NOT INSPECTED IN FULL (Further investigation / second inspection is required), Subfloor area was NOT INSPECTED IN FULL (Further investigation is required and recommended), Outbuildings, Grounds, Fences, Landscaping, Stumps, Retaining Walls

*** S 167. ARE THERE ANY AREAS AND / OR SECTIONS OF THE BUILDING TO WHICH ACCESS SHOULD BE GAINED?

Yes, subfloor areas, Yes, roof voids, Yes, garage walls and roof framings

Summary

*** S. 168. WERE ACTIVE SUBTERRANEAN TERMITES (LIVE SPECIMENS) FOUND?

No, read the report in full

*** S. 169. WAS VISIBLE EVIDENCE OF SUBTERRANEAN TERMITE WORKINGS OR DAMAGE FOUND?

No, read the report in full

*** S. 170. WAS VISIBLE EVIDENCE OF BORERS OF SEASONED TIMBER FOUND?

No, read the report in full

*** S. 171. WAS EVIDENCE OF DAMAGE CAUSED BY WOOD DECAY (ROT) FUNGI FOUND?

Yes, read the report in full

*** S. 172. ARE FURTHER INSPECTIONS RECOMMENDED?

Yes, read the report in full

*** S.173. WERE ANY MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY?

Yes, mid range issues / typical for a house of this age, read the report in full

*** S. 174. AT THE TIME OF THE INSPECTION, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE:

High

Recommendations

*** S. 175. DO YOU RECOMMEND A SUBTERRANEAN TERMITE TREATMENT PROGRAM?

Yes

*** S. 176. DO YOU RECOMMEND THAT FUTURE **Half-yearly**
INSPECTIONS BE CARRIED OUT, IF SO AT
WHAT INTERVALS?

*** S. 177. DO YOU RECOMMEND THAT A **Yes**
SEPARATE, MORE INVASIVE INSPECTION BE
CARRIED OUT



Emilio Calandra
0411 880 588
The Property Inspectors