

# **Dilapidation Report For The Development At: 14 Fairfax Road Mosman NSW 2088**

Dilapidation Report Carried Out On:

12 Fairfax Road Mosman NSW 2088

&

11 Tivoli Street Mosman NSW 2088

17<sup>th</sup> June 2019

Prepared by:  
**The Property Inspectors**  
**Emilio Calandra**

Level 2/118 Christie Street  
St Leonards NSW 2065

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Hunters Hill NSW 2110

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## 1. Introduction

The Property Inspectors Pty Ltd has prepared this report in accordance with the brief supplied to our office, to assess the two houses which adjoin 14 Fairfax Road Mosman NSW 2088.

## 2. Purpose of the Inspection and report

The purpose of this report is to record the condition of properties external elevations only, including the road, curb, gutter, footpath, driveways, street trees, street signs and council assets prior to the commencement of construction.

This report relates to

### **12 Fairfax Road Mosman NSW 2088**

Appendix A  
(Photos, Description of each defect)

&

### **11 Tivoli Street Mosman NSW 2088**

Appendix B  
(Photos, Description of each defect)

&

### **14 Fairfax Road Mosman NSW 2088**

Appendix A  
(Photos, Description of each defect, curb & gutter only)

The inspection of the above was carried out on the 17/06/2019 by the undersigned Emilio Calandra.

### 3. Scope of Works

A photographic record of our observations is included in this report.

It includes a record of those elements of the adjacent building structures which may be impacted by the building works.

These include those elements within proximity of the proposed works including those elements within the zone of influence.

This photograph report should be made available to all interested parties, where major blemishes in the building are identified and recorded prior to the commencement of work.

This report can be used to assess responsibility, should damage occur, caused during the construction activities.

### 4. Building Description

The two buildings are residential dwellings in direct contact or within the zone of influence of the proposed building works of 14 Fairfax Road Mosman NSW 2088, located to the left and right (viewed from the street) of the proposed building works.

The buildings are estimated to be more than 70 years old.

The structures are built with a concrete floor and the walls are built using 230mm brick walls, 270mm external cavity brick walls and a single 110mm brick for the internal walls.

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All Engineering Design & Advice is signed off by Geoff Hopkins & Associates Pty Ltd, G P Hopkins BE  
MIE NPER-3(Civil/Struct) CPEng,  
ABN 49 002 752 338

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# Appendix A

## 12 Fairfax Road Mosman – Photos



Minor cracks in the street elevation brick fence / mortar joints



This standalone garage structure is not structurally stable in its current conditions, due to the excessive amounts of cracks found within all external elevations of the detached garage

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Cracked concrete footpath to the right corner of the footpath, and around the curb and gutter in front of the power pole





Cracked concrete / footpath







Cracked concrete footpath, driveway and layback







Cracked concrete curb and gutter





Cracked concrete layback / crossover





Cracked concrete apron and layback / driveway







Cracked concrete curb, gutter and layback



Minor cracks within the face brickwork within the front brick pillar

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Existing cracks within the brick mortar joints of the brick pillars





Existing cracks within the brick mortar joints of the brick pillars







Existing cracks within the brick mortar joints of the brick pillars





Existing cracks within the brick mortar joints of the brick pillars





Existing cracks within the brick mortar joints within the street elevation of the garage structure





Existing cracks within the brick mortar joints within the street elevation of the garage structure







Existing cracks within the brick mortar joints within the street elevation of the garage structure





Above the garage lintel, there are existing cracks within the brick mortar joints within the street elevation of the garage structure



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Above the garage lintel, there are existing cracks within the brick mortar joints within the street elevation of the garage structure



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Missing bricks and damaged brick pillar





Cracked bricks within the street elevation garage pillar





Missing bricks and damaged brick pillar





The entire length of the garage walls are structurally unstable, the brick walls are leaning over, there are cracks within the brick mortar joints and through the body of the brickwork



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The garage wall is structurally unstable / loose and out of alignment, the brick walls are leaning over and there are cracks within the brick mortar joints and through the body of the brickwork



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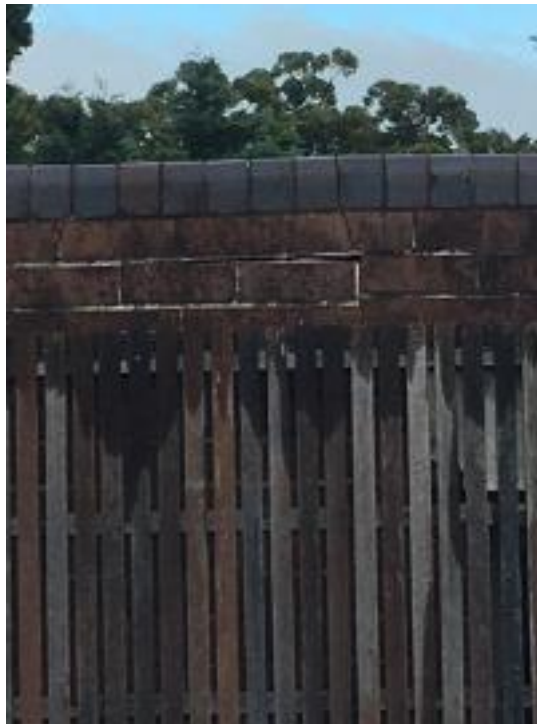
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The garage walls are structurally unstable, the brick walls are leaning over and there are cracks within the brick mortar joints and through the body of the brickwork



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The rear section of the garage wall is structurally unstable

The brick walls need to be re-supported / strutted / re-built

Randomly seen through the garage structure, are cracks within the brick mortar joints and through the body of the brickwork



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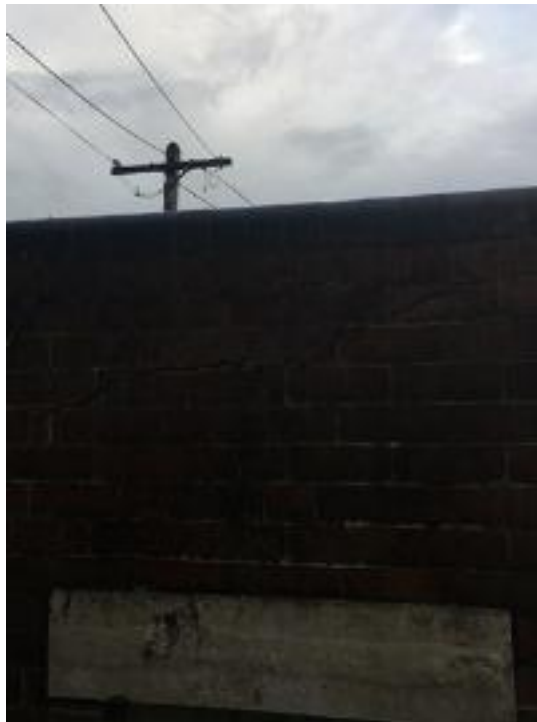


Major structural cracks within the garge structure





The garage needs to be demolished and re-built, as it is leaning over, and there are cracks in every elevation of the garage



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Water ingress within the garage floors, walls and roof structure





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Minor cracks in the side concrete pathway





Missing mortar within the face brickwork, right elevation of the house





Cracks in the window sills / render, and missing mortar within the face brickwork







Cracks in the window sills/render, and missing mortar within the face brickwork







Cracks in the rear elevation / rear right coner of the house





Cracks in the mortar joints within the rear elevation of the house





Minor cracks in the brick mortar joints / face brickwork, rear elevation of the house



Damaged downpipes

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Damaged downpipes

**SPECIAL NOTE:**

Once I completed the external elevations of the property, I asked to enter the main house, I was advised by the owners / tenants / occupants of the dwelling, not to enter the house as there were no cracks in the walls, floors, ceiling and wet rooms

I cannot confirm if this is an accurate assessment of the internal conditions of the house at 12 Fairfax Road Mosman

## Appendix B

### 11 Tivoli Street Mosman - Photos







Old / existing cracks / damages in the concrete footpath





Cracks in the concrete curb, gutter and footpath





Sunken / subsided concrete footpath





Settlement cracks in between the neighbour's boundary wall / rendered wall, and the existing sandstone pillar







Settlement cracks in between the neighbour's boundary wall / rendered wall, and the existing sandstone pillar







Settlement cracks in between the neighbour's boundary wall / rendered wall, and the existing sandstone pillar



Cracked concrete footpath, out the front door of the property

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Existing footpath condition in the junction of Fairfax Road and Tivoli Street Mosman (Minor cracks)





Cracked concrete footpath, out the front door of the property

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Cracks through the body of the floor tiles (pool concourse floor tiles)



Minor cracks in the pool coping and pool concourse tiles

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Cracks in the floor tiles, floor tile mortar joints / grout joints, and missing control joints / cracks / tile growth cracks

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Cracks in the floor tiles and floor tile mortar joints

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Efflorescence leaching out of the floor tiles and mortar joints within the pool concourse

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Efflorescence leaching out of the floor tiles and mortar joints as well as through the body of the floor tiles, within the pool concourse

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Efflorescence leaching out of the floor tiles and mortar joints within the pool concourse





Efflorescence leaching out of the floor tiles and mortar joints within the pool concourse





Efflorescence leaching out of the floor tiles and mortar joints within the pool concourse

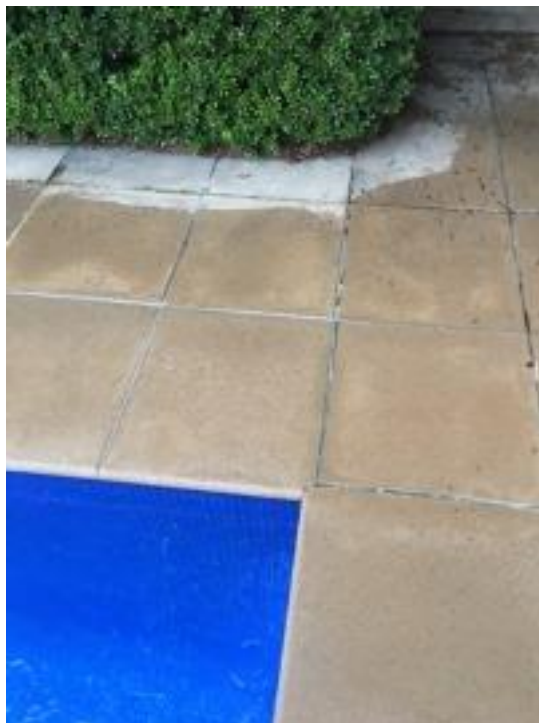


Efflorescence leaching out of the floor tiles and mortar joints within the pool concourse

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Existing hairline cracks in the floor tiles / pool coping and concourse tiles

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Left side boundary wall has cracks within in the brick mortar joints

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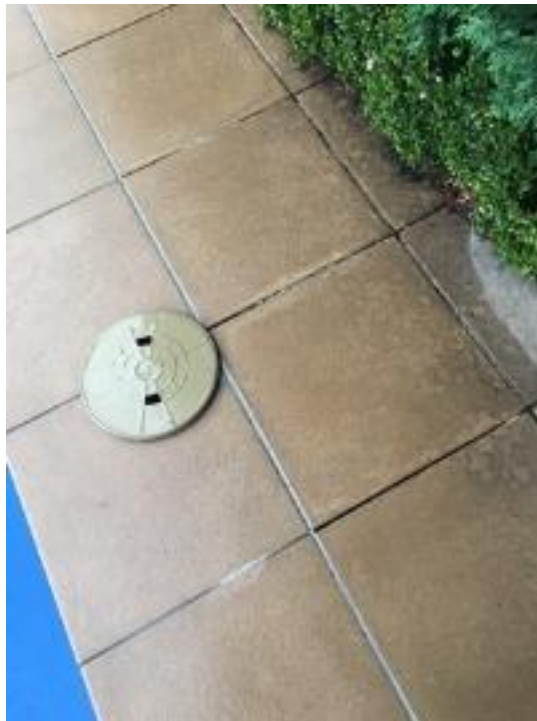


Chipped / cracked pool floor tiles within the pool concourse

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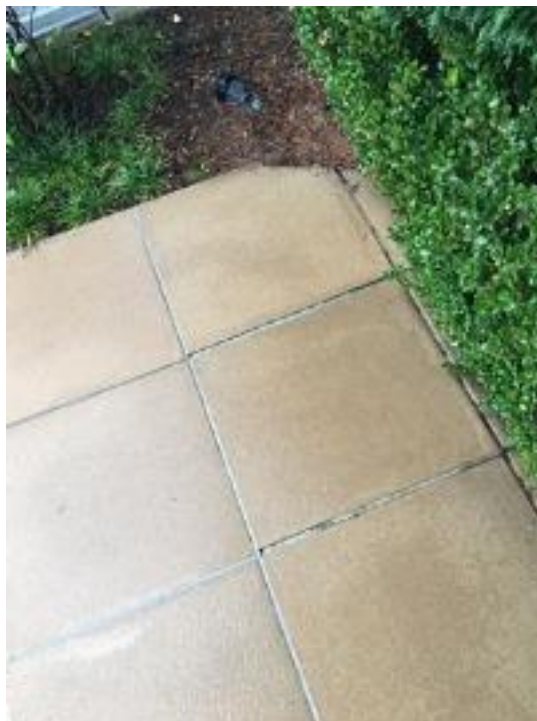


Loose and missing mortar joints / grout, within the pool concourse and pool coping tiles

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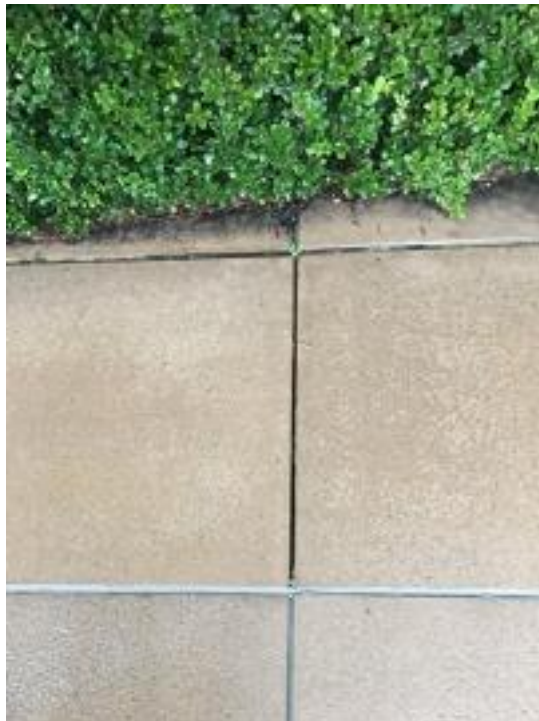
Cracked grout within the pool concourse tiles

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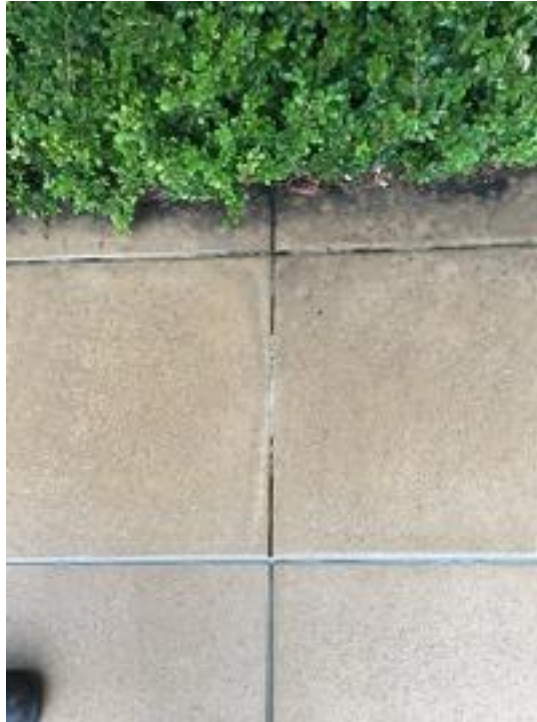


Missing grout within the pool concourse floor tiles

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Missing mortar within the floor tiles around the pool skimmer basket

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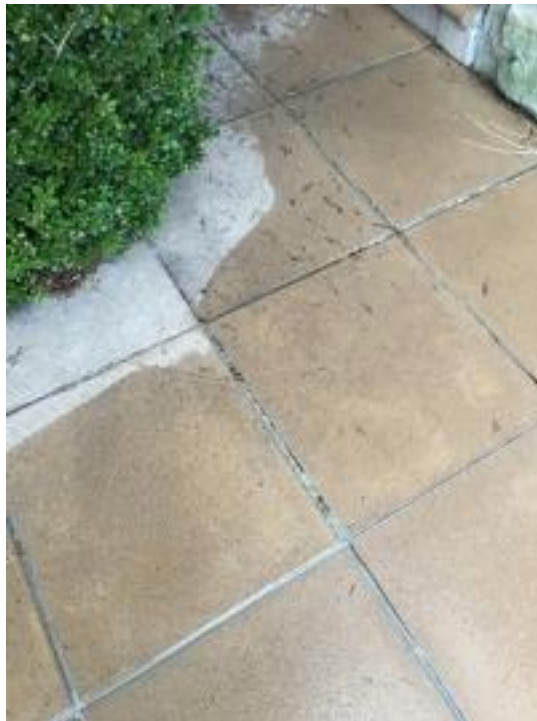


Loose / drummy floor tiles around the pool concourse

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Drummy floor tiles and cracked grout / mortar joints within the pool concourse plus the pool coping tiles and landing, just before the side pathway that is a step up from the pool area

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Drummy floor tiles and cracked grout / mortar joints within the pool concourse plus the pool coping tiles and landing, just before the side pathway that is a step up from the pool area

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Lifted / drummy floor tiles

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Retaining wall / side boundary wall that is shared between the two properties, is cracked and defective within the brick mortar joints



Retaining wall / side boundary wall that is shared between the two properties, is cracked and defective within the brick mortar joints

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Retaining wall / side boundary wall that is shared between the two properties, is cracked and defective within the brick mortar joints

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Brick walls and footing along the boundary line working as a retaining wall, has existing minor hairline cracks in the walls, through the body of the bricks and through the brick mortar joints

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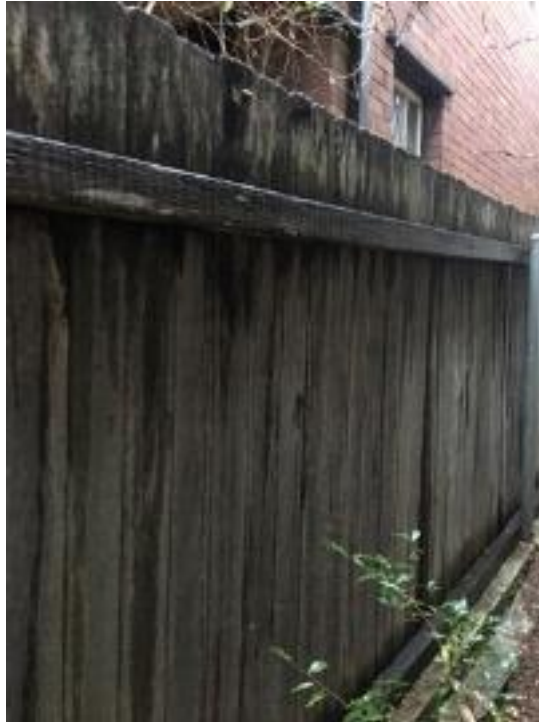


Bowed timber fence and masonry retaining wall

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Hardwood timber fence is slightly leaning over into the neighbours side



Bowed timber fence

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Minor cracks in the rear elevation masonry walls above the roof line







Veranda floor tiles are cracked





Minor cracks in the base of the external masonry wall

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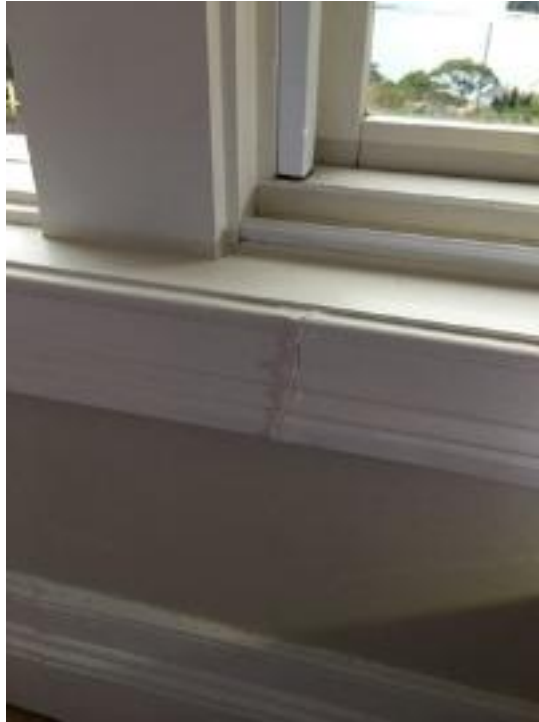


Minor cracks in the render and timber skirting plus the window frames / architraves

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Bathroom wall tiles have minor cracks in the tile joints







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Bathroom wall tiles are chipped and cracked





Hairline cracks in the wall tiles above the shower cubicle





Wall and ceiling junctions within the bathroom have existing hairline cracks within the internal junction



## Appendix C

14 Fairfax Road Mosman

Footpath, curb and gutter - Photos





Existing crack in the concrete footpath, plus the curb and gutter in front of the garage of 14 Fairfax Road Mosman





Cracks in the concrete layback and footpath





Footpath has excessive cracks within the old and new concrete footpaths







The curb and gutters are damaged with chips, and large sections of the concrete are missing from the curb and footpath junctions



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The curb and gutters are damaged with chips, and large sections of the concrete are missing from the curb and footpath junctions



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The curb and gutters are damaged with chips, and large sections of the concrete are missing from the curb and footpath junctions



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The curb and gutter are defective / cracked





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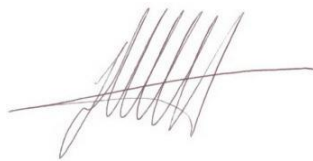
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Please feel free to contact me on 0411 880 588 to discuss further.

Kind Regards



**THE PROPERTY INSPECTORS PTY LTD**

Emilio Calandra

Director



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