



The Property Inspectors

Commercial Pre-Purchase Building Inspection Report



Client: Wyndham City Council
Property Address: 15-19 Station Place Werribee
Date of inspection: 02/11/2023



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Results of Building Inspection - Summary

A Summary of the inspection is below:

	Found	Not Found
Safety Hazard	✓	
Major Defect	✓	
Minor Defect	✓	

Please refer to the report for explanations.

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is Below Normal Standards 5 out of 10, This property needs work !!!!! .

Results of Pest Inspection - Summary

Question	***** S. 168. Were LIVE TERMITES sighted within your inspection today ?
Answer	No, read the report in full
Question	***** S. 169. Do you see any past DAMAGE / TERMITE WORKINGS within this property ?
Answer	No, read the report in full
Question	***** S. 170. Do you see any BORER'S or damage due to borer activity within this property ?
Answer	No, read the report in full
Question	*****S.171 Was there any WOOD ROT / FUNGI found within the STRUCTURAL TIMBER members ?
Answer	No, subject to what i could see on the day of my inspection
Question	***** S. 171. Was there any WOOD ROT / FUNGI found within the NON-STRUCTURAL TIMBER timber members?
Answer	Yes, read the report in full
Question	***** S. 172. Are FURTHER INSPECTIONS Recommended?
Answer	Yes, read the report in full
Question	***** S.173. Were any MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY?

Answer **Yes, mid range issues / typical for a property of this age, read the report in full**

Question ***** S. 174. At the time of the inspection, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE:

Answer **High to extremely high**

Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered:

Many defects were seen within this property compared to the average property that I inspect

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered:

The number of minor defects found was normal for a property of this age.

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

Below Normal Standards 5 out of 10

This property needs work !!!!!

Overall Condition Comments:

This property is in need of "Significant repairs" to be carried out to it prior to you moving in, I saw moisture in the internal elevations which should be assessed and comment on prior to buying this home, There is minor moisture issues within this property, which is typical for the age and type of construction of this property, There are LARGE / CONSIDERABLE CRACKS cracks within the structure that needs an engineer to assess and comment on prior to you purchasing this property, There is a number of MEDIUM CRACKS within the core fabric of the building that should be addressed within next few months, There are MINOR CRACKS within this property, they should be monitored but I don't expect any development within them any time soon., There are a NUMBER OF COMPLIANCE issues that should be addressed for the safety of the occupants or their visitor, A plumber needs to be engaged to make good / repair the WATER SUPPLY / DRAINAGE within this property., Work is required towards the ROOF PLUMBING within this property., There is considerable work required to the ELECTRICAL TRADE within this property, I saw no current PEST INSPECTION sticker within the electrical meter box or within the kitchen cupboard doors, confirming the house has been inspected and treated in the past 12 months, it is best to have this house inspected and sprayed / treated every 6-9 months, I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available, I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing, This property has A LOT OF WOODROT in the timber members within the property, This home needs CONSIDERABLE work carried out to have it back to an acceptable standard, This property needs to be RENOVATED / UPDATED,

*****SPECIAL NOTES :

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

Part 1: Purpose and Scope of Inspection

This report complies with Australian Standard AS4349.1 - 2007 Inspection of Buildings, Part 1: Pre Purchase Inspections - Residential Buildings.

Inspection Agreement - Individual title property

Requirement for Inspection agreement AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

Purpose of Inspection

The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

Important Information and Disclaimer

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Pre-Purchase Building Inspection Report, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion and risk of doing physical damage to the property being inspected. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection. This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future. This report does not include the identification of unauthorised building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent. It is not intended to detail each and every individual minor defect or imperfection. This service is provided on an independent professional basis. It seeks to present a factual, unbiased and balanced assessment. We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

Scope of Inspection

The inspection comprised a visual assessment of the property to identify major defects and safety hazards, and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

What is reported on:

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.
- The following areas shall be inspected where applicable:
 - The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
 - The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
 - The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and bargeboards
 - The roof space: roof covering; roof framing; sarking; party walls; insulation
 - The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
 - The property within 5m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps; fencing (excluding swimming pool fences); surface water (drainage effectiveness)

What is not reported on:

- general exclusions detailed in the standard AS 4349.1 - 2007
- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.
- Specifics excluded by the standard AS 4349.1 - 2007 Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde, timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

Special Requirements

It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor & a structural engineer carry out an assessment of the structural integrity of the property.

This report is limited to (unless otherwise noted) the main structure on the site and no other building, structure or outbuilding within 5m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers." Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Dimensions for Reasonable Access

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Part 2: General Comments and Weather Observations

Question S. Weather conditions at the time of inspection

Answer Clear & Sunny

Special note :

We have been engaged to inspect this property at the requested date and time by the commissioning party

In some events we do not have opportunity to gain full access to all areas as they are locked or unavailable at the time of the inspection

In some events we are unable to inspect all areas due to the loss of natural daylight or the sun setting whilst we are surveying the property

We often lose the natural daylight whilst the inspection is in progress and therefore our assessment and report is limited due to the reduced visibility and access within the property

We do our best to carry out this inspection by using a flashlight, this limits our ability to carry out a detailed and comprehensive assessment of the property.

We do not carry any responsibility in the event that we have missed any area that is vital in creating this report due to the lack of natural daylight or if access to the property was reduced due to limited areas being available to us at the time of the inspection

Our reports and working conditions are in line with Work Health & Safety Regulations

We encourage the reader or the commissioning party of this report to re-engage our office to re-inspect the property to make sure all vital aspects of the property are seen and reported on.

We Do Not Take Any Responsibility For Any Aspect Of The Property If We Did Not Get The Opportunity To Inspect The Property In Natural Daylight Or If We Did Not Have Access To All Areas Of The Property At The Time Of The Inspection

Question S. What were the recent weather conditions (within the past 10 days)

Answer Light rain, In the past seven days

Due to recent inclement weather in the past seven days, it is not unusual to see the subfloor area of the property to be damp or wet

This does not mean that the subfloor ventilation is inadequate, though the area should be monitored and re-evaluated once the wet weather has passed

Question S. Date & Time Inspection Commenced

Answer 2023-11-02 09:10:00

Question S. Is the building furnished?

Answer Yes (Excess furniture / belongings found within the property)

Yes (there was excessive furniture and belongings found within the property at the time of the inspection)

This limits our ability to assess and report on the conditions of the property

We have not reported on the room(s) conditions or areas which have excessive belongings or belongings up against the walls, floors, ceilings, or belongings that fill the room, making our assessment of the areas non-compliant with Australian Standards conditions and requirements of the consultant

We do not move the Vendor/Tenants belongs when we carry out our inspection.

We do not move nor touch objects within the property.

For Example:

We do not move any objects in the following areas, nor do we look at nor report on the conditions of the property, if they are obstructed by the vendor or tenant's objects / belongings stored within the following rooms, and not limited to these rooms and objects:

1. We do not look behind bed heads, nor beds when they are up against a wall or two walls within the room
2. We do not look at the walls and floors which are covered by furniture or objects stored or placed up against the walls and floors
3. We do not look at the walls and floors which are covered by portable cupboards / furniture / tables
4. We do not look behind nor move curtains, blinds or fixed or loose shutters
5. We do not look behind nor move goods within robes / walk-in robes / linen cupboards / stairwells / kitchen and laundry cupboards / vanity units
6. We do not look behind nor move goods found in the garage or storeroom
7. We do not look behind nor move goods within the roof voids
8. We do not look behind nor move goods within the subfloor areas

If a defect is hidden behind or in these areas due to an obstruction we don't report on them nor do we take responsibility for including these defects within our report

Question

S. The following areas were NOT inspected within the property?

SPECIAL NOTE: I strongly recommend that you have these areas inspected in full prior to buying this property if you want a full and comprehensive assessment of the property

Answer

Please Note: I could not inspect ALL AREAS within this property today. I did not inspect the following areas as noted below :

I could not inspect all areas of the property today

The areas noted below are excluded from our report, you cannot rely upon any facts within this report for these areas, even if I make comment to them in this report, as I may have been able to inspect the areas in question IN PART BUT NOT IN FULL.

As I could not inspect the areas in FULL, I, therefore, make the entire area(s) excluded from our report

I strongly recommend the commissioning party or the reader of this report request that the vendors or their agent make the following areas available to be inspected/re-inspected once access is created

We encourage you to re-engage our office to carry out a second inspection to include the non-inspected areas, an additional fee is applicable for a second inspection

The areas not inspected in full nor included in this report are:

Answer Roof void due to a flat skillion roof

I could not gain access to all roof void(s) within this property due to the property having a flat metal roof, with no access hatches to service the roof voids.

Answer Roof void due to manhole being blocked / inaccessible at the time of the inspection

No access to the roof void due to the manhole being blocked / inaccessible at the time of the inspection

The roof void was inaccessible when I was on site

We, therefore, did not inspect nor report on the roof void/s within this property

If this part of the property needs to be inspected and reported on, a second site inspection is required once access is created meeting current regulations.

Answer Roof void due to manhole being in an unsafe location for the inspector to install a stepladder

No access to the roof void due to the manhole being in an unsafe location for the inspector to install a stepladder.

Answer Roof sheets due to height restrictions

This property has roof sheets (Metal roofing) / roof elevations higher than allowed within current regulations

I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, the safe use is 2.7m in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations.

Answer Roof plumbing due to height restrictions

This property has roof plumbing (gutters, valleys, flashings, cappings, box gutters, downpipes) / Roof elevations higher than allowed within current regulations

I did not access the roof due to the height exceeding the safe use of a 3.6m ladder, the safe use is 2.7m in height from the finished ground floor or the roof(s) being over a single storey structure, complying with current WH&S regulations

Answer Partial access to the roof sheeting & roof plumbing, due to height restrictions, I was unable to gain access to all areas and this portion of the property is excluded from my report

I was unable to access the roof in full, I accessed the roof in a small portion due to WH&S regulation

I had partial access to the roof sheets, gutters, valley iron, flashings, and cappings

Any comment made is a passing comment made from an observation from afar or from overlooking windows or from a zoom camera

I did not access the entire roof elevation making the sheets, gutters, valleys, flashings excluded from this report

Answer SPECIAL NOTE: Once access to the areas noted above are made available by the vendor / listing agent, we strongly recommend that you re-engage our office for a

second inspection to have the areas not inspected in full, inspected and reported on within an amended / updated report prior to you purchasing this property

Answer Refer To The Supplementary Text Below

Area Subfloor of the 1st floor timber floor
Roof void

Question S. Due to excess belongings present at the time of the inspection we were not able to assess in full the following areas:

Answer Excess goods were found in the storeroom

Once the vendor / tenants belongings are removed within the storeroom we will be able to inspect and report on the condition of this room / space

Question S. The original report was commissioned by the?

Answer Prospective Buyer

Question S. This report is valid as of the day of the inspection only.

How long will you support this report and give advice to a buyer for ? (How many days)

Answer 28 Calendar Days

This report is a reflection of the condition of the property as of the date and time of the inspection

We will have this report with us for a buyer to reach out to us via email or phone to seek further clarification on the facts/contents within this report

We will support this report and its conditions for 28 days post the inspection date

Question D. At the time of our inspection we assume the property is occupied by?

Answer Tenant

Question D. Who was present / opened up the property, for the inspector on the day of the inspection?

Answer The real-estate agent met me and stayed with me for the duration of the inspection

Part 3: Description of Building

Question S. Type of Building

Answer Commercial

Question S. Type of Structure / Dwelling

Answer Commercial building

Question S. Approximate age of the Original Building, NOTE: The buyer must do their own investigation to confirm the age of the property and the last known renovation/extension

dates as this could be vital if Home Owners Warranty is applicable and available on this property

Answer **Approximately 75-100 years old**

No Home Owners Warranty is available for this property if it's older than six years old

Your solicitor must do their own investigation to confirm if this is the case or not (we only assume the age of the house)

If renovation works / new building works have been completed within the past six years and the contract sum was above \$20K you will then have the right to request a copy of the Home Owners Warranty Insurance Policy that belongs to the property and the works carried out.

We strongly recommend that you request a certificate of currency of the Home Owners Warranty Policy to be supplied by the Builder / Developer / Owner Builder prior to the settlement of this property

Department Of Fair Trading guidelines make Builders, Owner Builders or Developers provide the consumer / the owner of the property a warranty for the period of two years and / or six years against all defects from the date of the Practical Completion of the project

Question **S. Roof Covering**

Answer **Metal deck roof sheets**

Answer **Refer To Supplementary Text Below**

Question **S. External Walls**

Answer **Rendered masonry walls**

Answer **Face brickwork**

Question **S. Floor Construction**

Answer **Slab on ground or raft concrete slab**

Raft slab on ground construction requires the edges of the slab visible for periodic pest inspections

Pest inspections should be carried out every six to nine months to monitor any potential pest activity

The exposed concrete edges and slabs should be inspected and reported on every twelve to fourteen months for concrete cancer or any deterioration of the concrete slabs

Answer **Timber flooring on timber framing**

Timber floor covering on a timber structure can be a combination of hard or softwood joists covered with plywood, particle board flooring, hard or softwood strip flooring

All floor framing should be inspected and treated every six to nine months for pest activity

Answer **Suspended concrete slab**

This property has a suspended concrete slab which has been limited for assessment due to location along with floor and ceiling coverings

Any exposed concrete edges or slabs should be inspected and reported on frequently for concrete cancer or any deterioration of the concrete slabs

Question S. Outbuildings

Answer There were no external structures detached from the property that were inspected and assessed and reported on within this report

Question D. Roof Frame

Answer Timber framed roof

Answer Pitched roof

Answer Flat skillion roof

Answer Unable to confirm as I did not get into all roof voids within the property

Question D. Roof Pitch (approximate degree of steepest roof pitch)

Answer 5 - 10 degrees

Question D. Number of Storeys

Answer Two storey

Question D. Style of Building

Answer Period building

Question D. Footings

Answer Slab on ground

Slab on ground has the footings combined within the slab structure

Answer **SPECIAL NOTE : NO ACCESS TO THE SUBFLOOR, the true type of footings are unknown due to no access at the time of our inspection**

The true type of footings are unknown as there was no access to the subfloor area at the time of the inspection, and our assumptions if any noted above are based upon experience, not on facts

No access was available at the time of the inspection to the entire sub-floor areas, I, therefore, have the entire subfloor areas of the property excluded from our assessment and this report

If you would like an assessment of the subfloor area, access hatches/s must be created so we can access this area so that I can inspect and report on the conditions of the subfloor area

General Photographs:

Part 3a: Areas Inspected / Obstructions Within the Building Inspection

- Interior of Building
I have Inspected the internal spaces within the property.
- Exterior of Building
I have inspected the external elevations of the building.
- PARTIAL Roof Exterior
I have only inspected the roof in part - Partial Roof Exterior.
- We have not been able to inspect this entire area due to limited access at the time of the inspection
- This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property
- If these areas needs to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.
- No Subfloor
- No Roof Void
- - The Entire Site (Within 30m of the main structure)
I have inspected the entire external site within 30m of the main structure.
- All other objects/structures or assets outside the 30m radius is not inspected nor assessed nor reported on within this report.
- The Electrical Trade was not inspected
- The Plumbing trade was not inspected
- *Roof plumbing (Gutters, Valley irons, Flashings, Downpipes, Box gutters) Due to height restrictions / safety / WHS
Unable to physically access upper roof cladding due to height/safety.
- *Roof cladding (roof tiles/sheets) above 2.7m in height
Unable to physically access upper roof cladding due to height/safety.
- Roof void - Roof framing / Rafters, as the roof void was concealed / lined with plasterboard concealing the roof timber framing members and the underside of the roof linings
- *Roof void due to skillion / flat roof construction
No roof void was found due to the skillion / flat roof on site.
- Roof void due to the access hatch had furniture / personal belongings located directly below the roof void access door
I could not place my ladder under the access hatch without having to move the vendors belongings
- *Concrete Slab & footings; Slab edges not exposed and un- inspect-able due to the way the property was built
Unable to inspect the concrete slab and footings

The concrete slab edges were not exposed on the perimeter of dwelling and floor coverings.
- *****SPECIAL NOTE: Should the areas noted in this section as "not inspected" or "not inspected in full" be altered or access provided a second inspection is recommended so I can advise on the conditions within those areas
- Refer To Supplementary Text / Photos / Defect Rating
- Roof void
- Sub floor

- Roof top elevation
Upper storey roof cladding was not accessed or walked on due to safe and reasonable access.
- Internal storage/furniture
Internally, some walls, skirting boards, floor linings and the like were not visible due to storage/furniture.
- Internal cupboards/storage areas
Internally, cupboards also had storage items that restricted full visibility of areas
- Internal stairwells and storage spaces
- Single story Roof linings & Roof plumbing above 2.7m off the Finished Ground Floor Level
We only inspect roofs that are 2.7m in height off the ground floor as we use a 3.6m ladder.

We inspect up to 3.6m high gutters, as we can lean our ladder up against the gutters to inspect them as we don't need to walk over the roof to inspect the gutters

This is all in line with WH&S guidelines for a single inspector

- Upper 1st story roof cladding and plumbing
Upper storey roof cladding was not accessed or walked on due to safe and reasonable access.
- Refer To Supplementary Text / Photos / Defect Rating

Part 4: Interior of Building

Question

***** S. 1. INTERNAL DEFECTS / AREAS OF IMPROVEMENTS

Answer

Summary Of Defects and Possible Issues, that you should be made aware of about this property

Summary

Randomly found throughout the front three retail areas were excessive yellow stains and moisture-related defects seen within the ceiling tiles.

Randomly found throughout the entire ground floor retail area were ceiling light fittings defective, displaced, and non-compliant.

The shopfront aluminum window frames have minor traces of moisture entry within the rubber seals.

Within the front and left retail area, there were minor bubbling and moisture-related defects seen within the internal masonry / rendered walls.

The front left retail area AC outlets / grills are out of position within the ceiling and in need of repair.

Front left retail area has two ceiling tiles with major yellow stains which are in direct contact with the external wall. This could be a major water ingress issue from the built form / external walls / rooftop elevation or within the AC system or concealed plumbing within the roof void.

The front right retail area carpet is raised, this could cause a trip to occur, resulting in liability against the tenant and / or landlord.

In the front right corner retail area, there are considerable water stains seen within the carpet. The ceiling tiles above this area do not appear to have water stains, however, when I asked the workers within the cash converters business if there were any water ingress issues that they were aware of and they said that there are a number of issues / water entry defects in the past, however, they have drastically reduced over the course of time.

In the front right corner retail area, there are large water stains within the ceiling tiles. This could be due to a number of possible reasons, and once again, as the listing agent limited me from using my step ladder, I could not look within the ceiling void to see where the water ingress issues may have been occurring.

In the left side of the building, there is a small WC room. The room has PVC skirting which has begun to delaminate from the wall in various locations within the bathroom.

Within the ground floor left side of the building, there is a small kitchenette area. There is minor moisture damage within the kitchen carcass.

On the left side of the retail store, there is a locked door accessing the back storeroom. Within that storeroom, there were minor hairline cracks randomly found throughout these walls and there is clear water ingress through these cracks.

Within the rear storeroom, the masonry blade wall adjacent to the staircase has minor hairline cracks. The wall appears to be stable.

The back left corner of the storeroom plasterboard ceiling has a large crack running through the width of the ceiling over the staircase.

The back left corner of the storeroom / warehouse has a non-compliant timber staircase, especially where the timber stairs meet the suspended concrete slab. This results in a possible trip hazard to people using this pathway and staircase.

In the back storeroom, there are damaged / broken plasterboard wall linings in need of repair, together with illegal electrical cabling not concealed within a conduit.

In the back right corner of the storage / warehouse, there are many minor and substantial splayed cracks and structural cracks within the brick mortar joints.

Randomly seen internally and externally are large metal plates held together by threaded rods. These are typical structural repairs to masonry walls in order to keep internal and external masonry walls apart, especially when there are missing, damaged or defective brick ties within the cavity.

All internal junctions within the rear warehouse have minor cracks.

The warehouse storage area has a pair of orange doors exiting the side of the warehouse. These doors are noted on the fire exit plan as fire exit doors, however, these doors are fixed shut and non-compliant, making this entire building a major safety hazard in relation to fire non-compliance issues.

Continuing to inspect the rear warehousing and stockrooms, I saw consistent excessive yellow stains within the suspended ceiling tiles.

There was a timber staircase accessing the front first-floor office space. As I was walking up this staircase, on the left-hand side overlooking the right-side external doors and pathways, there were substantial cracks within the internal masonry walls in various locations, especially around the window frames, lintels, and wall and ceiling junctions.

Within the stairwell there were cracks beneath the windows and along the wall and staircase junction, together with vertical cracks between the lightweight walls and masonry wall frames.

I could not open any of the windows on the first floor overlooking the front awning. I removed some of the protection board internally and I asked the listing agent and the tenant's manager who was walking around with us if they could open these windows, as I could not. All parties concluded these windows could not be opened, which creates a major fire safety

non-compliance issue.

Randomly throughout the entire first-floor front office spaces were many minor cracks within the internal masonry walls and water ingress seen in various locations throughout the first-floor external masonry wall and around the windows and masonry junctions.

Within the first floor, there is an old bathroom which has severe cracks present within the wall and floor junction and bathroom wall tiles. There are considerable defects within this bathroom that would require this entire bathroom to be stripped out.

Upstairs fire doors do not comply with current building regulations. The fire doors must be upgraded and made compliant.

There were excessive personal belongings / paperwork randomly found in a number of rooms, especially within the room where the manhole is located to access the roof void, you can see that should the tenant and / or agent have allowed us to enter the roof void there would be a number of boxes required to be removed in order for me to install my stepladder below the manhole accessing the roof void.

Randomly seen throughout the top floor office space is running water and water stains running down the face of the internal walls. The water stains are found throughout the entire top floor / rooms.

There are collapsed ceilings, these ceilings are damaged and in need of repair in various locations throughout the top floor office space.

There are cracks within the masonry walls adjacent to the windows facing over to the street elevation / over the street awnings.

There is moisture coming through the masonry walls above the tiled walls within the green bathroom located on the top floor. The entire top-floor bathroom holds very little value in its current state. The entire bathroom needs to be renovated.

A carpenter needs to be engaged in order to make all the internal and external doors and windows operational, as they are currently sticking / binding and unable to be opened.

There is a WC room in the middle of renovations. It has begun to receive paint, however, it is incomplete. The upstairs WC also has damaged, missing, and defective vinyl flooring.

Randomly found throughout the top floor, are missing, damaged, and defective ceiling tiles.

Defect Rating These items are Major defects which require the vendor or new owners to make good urgently

Question D. 2. ARE THE INTERNAL CEILINGS, WALLS & FLOORS FREE OF DEFECTS?

Sub-question *** CEILINGS ANSWERS ***

Answer Minor imperfections within the ceiling linings

Minor sagging and / or minor imperfections in places, I can see there is a combination of the following:

1. Sagging of the plasterboard ceilings in various locations
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

Any property beyond two years old can have cracks in the plasterboard and cornices and this will be rated a minor defect, and those defects may not all reach this report

If the property was recently painted, we cannot pick up defects in the plasterboard ceilings nor old or existing moisture issues within the ceilings and cornices

We only report on major defects and not minor imperfections or typical wear and tear issues within older plasterboard ceilings and cornices

Our objective is to advise on areas of concern that may involve future liability or expenses, I cannot see any major issues within this property within the ceiling linings or cornices in their current condition

Any cracks in the ceiling linings that have roof access above could have been created by a service contractor or owner when accessing the roof void, making the cracks within the ceiling non-critical

I recommend that all roof voids are not to be used as storerooms, as the additional loads to the roof framing, plasterboard linings and cornices may create or contribute towards cracks within the ceilings and cornices (Unless a new timber floor structure and floor lining boards are installed and are detached to the ceiling joints)

Answer **Sagging through center of the ceiling sheets**

There is sagging through the center of the sheets, this is a common occurrence in properties and it can be left as is.

The ceiling plasterboard sheets are normally securely fastened at the edges however the adhesive in the centre of the sheets may have let go, allowing some sag to take place, which is not structurally significant

Sagging of the plasterboard ceiling is evident in places which is very common in period style properties, as the timber battens give way, or in newer properties or renovated properties ceilings glue gives way creating minor defects within the plasterboard ceiling linings, this leads to minor cracks found in the cornices and wall junctions and minor cracks found in the cornices and ceiling linings

Answer **Minor cornice cracking**

Minor cornice cracks are seen between the cornices and ceilings as well as the cornices and walls, this is possibly due to normal movement within a property and is considered an acceptable and non-structural issue

1. Cracks were found within the cornices where each length of cornices meet and are set together
2. A good plasterer and painter can repair and make good these issues quite easily and cost effectively.

All properties with the above issues should be monitored and if they further develop, a structural engineer should be engaged to assess and report on the entire property

Answer **Moderate ceiling cracks**

Moderate settlement cracks were noted within the ceiling linings.

The ceilings require repair or maintenance to be carried out.

Advice should be sought from an experienced wall and ceiling plastering company / carpenter / builder or engineer

Answer

Major ceiling cracks

Major settlement cracks were seen, possibly due to :

1. Timber framing movement
or
2. Additional loads found within the roof space bearing upon the ceiling and roof frames
or
3. Sagging and over spanning timber members within the roof space

Advice should be sought from an experienced wall and ceiling plastering company, builder, carpenter or structural engineer

Answer

Poor ceiling sheet linings and joints

Poor ceiling joints and setting was noted to the ceiling lining.

Re-topping of the joints is recommended.

Advice from an experienced wall and ceiling plastering contractor is required.

Answer

Slight cracking to ceiling joints & cornices

Minor cracks evident at the plasterboard ceiling joints, these cracks are not structurally significant.

1. Some sagging of the plasterboard ceiling is evident in places
2. Minor defects found within the plasterboard ceiling linings
3. Minor cracks found in the cornices and wall junctions
4. Minor cracks found in the cornices and ceiling linings

NOTE:

A property beyond two years old can have cracks in the plasterboard and cornices and it is not a major defect

Answer

Water stains / Discoloration in the ceiling / cornices

There are imperfections in the ceiling, it appears to be old moisture stains within the ceiling / cornices

A painter can repair and make good these issues quickly and inexpensively

Answer

Yellow stain in the ceilings

Yellow stains normally mean that there was or still is water / moisture ingress into the internal elevations of the property, this should be looked at to see if it is a current issue or an old and past / rectified issue, and then all that is required is prep work and re-painting of the area in question

Answer

Mould seen within the ceiling

Mould should always be removed and the cause found and rectified, if not already done so when you take ownership of this property

Answer

Moisture damage to the bathroom ceiling

Further investigation is recommended to confirm the source / cause of the defect

Answer

Moisture damage to the hallway ceilings

The source of the water ingress is important to understand, to eliminate this issue and any further issues developing

Answer Moisture damage to the kitchen ceiling

It's best to have the source of the water supply addressed / confirmed to eliminate any additional defects developing in the ceiling

Sub-question * WALL ANSWERS *****

Answer Minor cracks to plaster linings, typical settlement cracks found within a building

Minor cracks were seen within the internal wall linings due to normal settlement and can be left as is

Hairline cracks in the wall linings are normal and they are normally fixed up by a painting contractor when a property is re-painted

A normal life cycle for painting a property internally is every six to ten years

Note

If the property was recently painted for sale, we will not be able to see the defects (structural or cosmetic) concealed by the recent work

Defects, if any, will normally re-appear within the next three to twelve months (in the change of seasons)

The most common periods to see cracks in walls are in the summer period when properties foundation moisture content is lowered or in the reverse if the improvements were carried out in summer, if this is the case, please re-contact our office to re-engage us to carry out a second inspection to obtain a true position of the property

Answer Moderate cracks within the wall linings (larger than hairline cracks), clay soil movement

The cracks evident are common in properties of this age, but they should be monitored to see if they develop any larger than their current state

These cracks are due to a variation in the moisture content in foundation material, which causes expansion and contraction and subsequent movement of the footings.

High clay content in the ground is a common contributing factor to cracks or defective / leaking stormwater lines

Period style properties are built with lime mortar within the brick joints and within the internal render linings, lime mortar is weak and unforgiving to the continual settlement of a building, and due to the weakness of the lime mortar these cracks are common to see in properties built pre 1960s and expected to be seen in most properties built before the 1960s and / or in homes that are in original conditions (unrenovated)

Answer Bulging wall linings

Bulging of linings was identified, and should be assessed by a carpenter to determine why the linings have been detached.

Answer Masonry walls, missing expansion / control joints in masonry wall

Missing expansion / control joints in masonry wall

Best building practice is to have control joints or expansion joints at no greater than 6m spacing for masonry walls (internally and externally)

Answer Dampness and / or staining of the wall linings / skirting

Dampness and / or staining was identified as a result of :

1. Leaking water pipes
or
2. Rising damp
or
3. Rainwater entry
or
4. Blocked cavity
or
5. Non-cavity brick wall
or
6. Missing weep holes in the external walls
or
7. Missing or defective damp proof course

A licensed building contractor or specialised contractor should be engaged to determine the cause(s)

Answer Yellow stain in the wall linings

Yellow stains normally mean that there was or still is water / moisture ingress into the internal elevations of the property, this should be looked at to see if it is a current issue or an old and past / rectified issue, and then all that is required is prep work and re-painting of the area in question

Answer Mould seen within the wall linings

Mould should always be removed and the cause found and rectified, if not already done so when you take ownership of this property

Answer Moisture damage to the bathroom walls

Further investigation is recommended to confirm the source / cause of the defect

Answer Moisture damage to the hallway walls

The source of the water ingress is important to understand, to eliminate this issue and any further issues developing

Answer Moisture damage to the kitchen walls

It's best to have the source of the water supply addressed / confirmed to eliminate any additional defects developing in the ceiling

Answer Moisture in the external single skin masonry walls / WC room

Typical non-habitable room issue

Sub-question * FLOOR ANSWERS *****

Answer Minor spring / bounce / squeaky floor

The flooring has minor spring and bounce, which is a typical issue within a timber floor and a building of this age

All timber floors tend to be bouncy underfoot when assessed

If the furniture begins to move when normal foot traffic is applied to the floor, a carpenter must be engaged to assess and report on the floor substructure (ground floor bearers and joists and first or second floor, floor joists) for the structural integrity of the floor

A pest contractor must inspect, report on and treat this property every six to nine months for pest activity

Good crossflow ventilation to the subfloor areas is a very important factor to maintain a healthy subfloor structure (structural members and floor coverings)

Ample air vents or a simple mechanical fan should be installed to encourage movement of air to the subfloor areas throughout the property if it does not already exist

Answer Floor out of level

The flooring finish is out of level

This is may not be structurally significant

Some floors are out of level because the room may have been an external veranda which has now been converted into a new room and the purpose and use of the room has changed but the floor finish and levels may have not changed

Some floors are out of level due to subsided piers or substrate structures

Answer Damaged timber skirting boards

Imperfections found within the skirting boards that need to be assessed and made good by a carpenter and painter

Answer Damaged tile skirting boards

Loose and defective skirting tiles in need of repair by a tiler or handyman

Answer Internal floors could be affected by water entry due to the external floors and internal floor close to being flush / level to each other, water may enter the building during a raining period or if the external floor has pooling water or if the external area floods

Answer Loose and drummy floor tiles

A tiler needs to lift the floor tiles and re-lay them, or if there are excess tiles on-site or if new tiles are available they will need to be installed

Answer Cracks seen within the floor tiles

A tiler needs to lift the defected floor tiles and re-lay new floor tiles

Answer The timber floor was completely covered by carpet and I could not see nor assess the timber floor linings below the carpet

Answer The timber floor is concealed by a vinyl flooring, I cannot comment on the floorboards below

Sub-question * MOISTURE ANSWERS *****

Answer Rising damp evident to lower portions of the walls / skirting

We have tested the walls and skirting and we have found excessive moisture within the walls / skirting

We recommend a Hydraulic Engineer and a contractor specialising in rising damp to assess and advise on this issue

Answer Water stains within the internal walls, condensation / condensation damage seen within the wall linings

On inspection of the wet rooms, I saw signs of condensation, an environmental scientist should be engaged to confirm the state of play within the room

Answer **Ceiling water damage evident**

Discolouration of the ceilings, further investigation is recommended to locate the source of the water entry

Answer **External doors, minor moisture seen to be entering the property via the external doors**

Answer **External windows, considerable amount of moisture seen within the house in and around the window frames / reveals / architrave**

Answer **The external floors and internal floor are almost at the same height / level, and water could enter the building in a high driven / windy storm or if the external area floods**

Answer **I saw moisture within the internal non-cavity walls, this is a common issue found in : WC rooms, laundries, garages, rooms that used to be external veranda's which are now a habitable room, period buildings were commonly built with non-cavity brick walls, so every period building has a risk of moisture coming through the external wall and into the internal wall of a property!**

Answer **Moisture damage seen within the internal doors suites**

Answer **Moisture damage seen within the internal window frames / window suites**

Answer **Water stains seen on the internal walls**

Answer **Water stains seen on the ceilings**

Answer **Moisture damage seen within the timber skirting / architrave**

Answer **Moisture damage seen within the doorjamb**

Answer **Mould / Moisture seen in the SINGLE LEAF INTERNAL DOORS**

Answer **Mould / moisture seen in the CEILINGS**

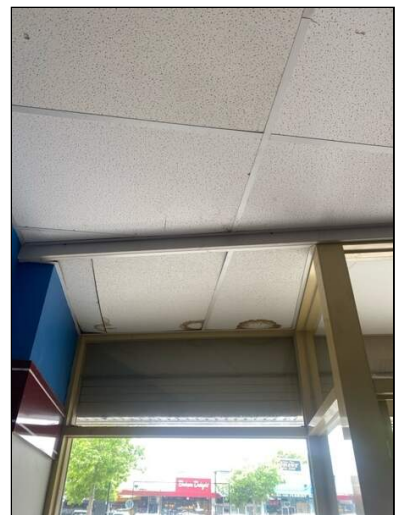
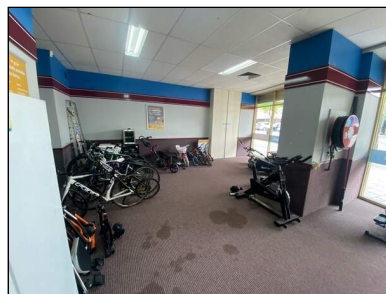
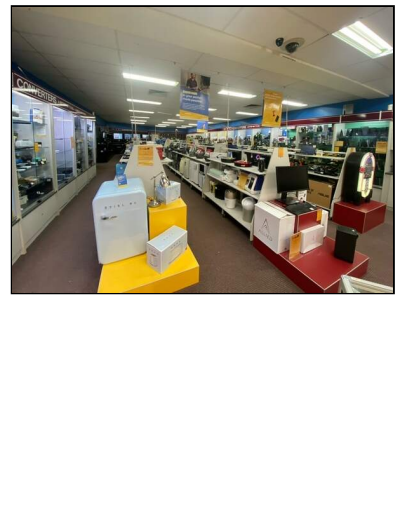
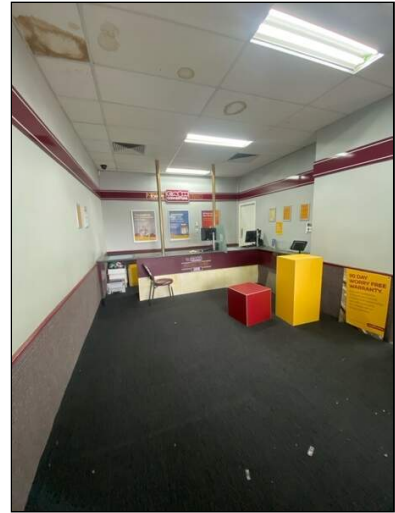
Answer **Mould / Moisture seen in the WALLS**

Answer **Mould / Moisture seen in the SKIRTING / ARCHITRAVE**

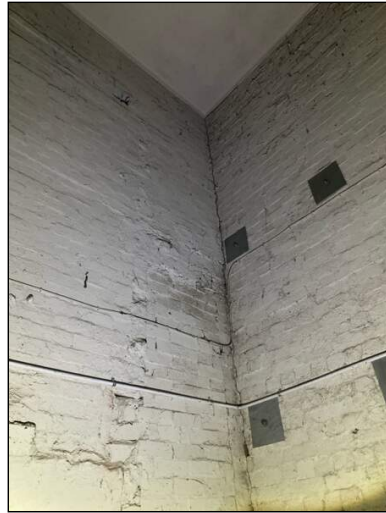
Answer **Refer To Supplementary Text / Photos / Defect Rating**

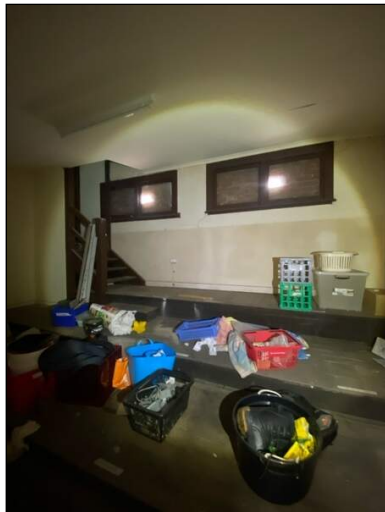
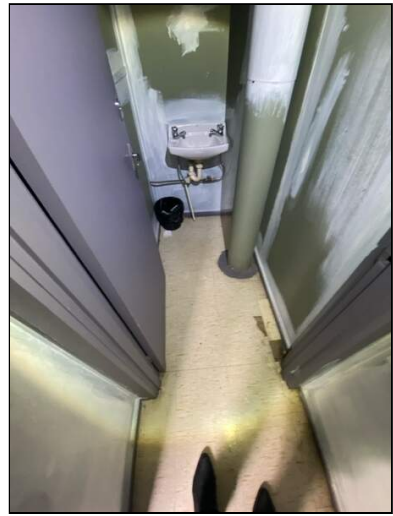
Defect Rating **Major Defects**

Photos

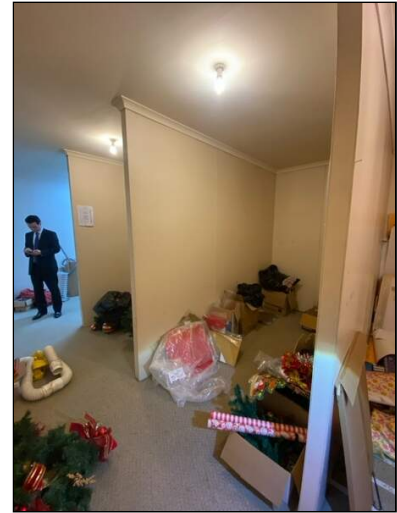












Question D. 3. INTERNAL & EXTERNAL DOORS & WINDOWS, ARE THEY DEFECT FREE?

Sub-question *** INTERNAL DOORS ANSWERS ***

Answer Moisture damage present within the internal elevation of the external doors

External door(s) are damaged due to not being adequately protected from the weather

Answer **One or more doors bind on the frame**

One or more doors bind on the door frame

The doors require minor adjustment and once rectified the doors are to be appropriately protected

(Painted or Stained, so they are sealed)

Answer **Minor maintenance required to the internal doors**

Minor maintenance required to internal doors and door jamb so the doors close and lock correctly and as originally installed and designed

Answer **Door hardware requires adjustment**

Door hardware requires adjustments so they operate as designed.

Answer **Door jambs have moisture damage seen at the base of the door jambs**

A flood test should be commissioned to see where the moisture is coming in from.

Answer **The doors have minor moisture seen within the doors leafs entering the property via the external doors**

Answer **Missing door hardware**

Minor defect, easy and inexpensive fix

Answer **The doors need to be sanded back and repainted**

Sub-question ***** EXTERNAL DOORS & WINDOWS ANSWERS (METAL FRAMED) *****

Answer **One or more window / door units require maintenance**

One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors

Answer **Not all windows / doors were able to be opened and tested on the day of the inspection**

All doors and windows need maintenance and regular upkeep

Prior to purchasing this property I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair

Sub-question ***** EXTERNAL DOORS & WINDOWS ANSWERS (TIMBER FRAMED) *****

Answer **One or more window / door units have cracked glass**

One or more windows have cracked glass panes which should be removed and replaced

Answer **There were windows / doors that require minor maintenance and repairs**

One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors

Answer **Do not operate freely or lock up the property**

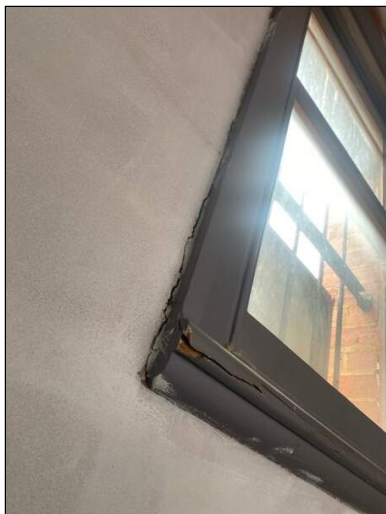
The windows and doors do not operate freely and a carpenter needs to work on the door / window suites so the property can be locked up

- Answer** **Evidence of minor rotting**
- Evidence of minor rotting found within the external doors / windows
- Repairs and re-painting are required by a painting contractor to preserve the timber members
- Answer** **Evidence of major rotting**
- Timber fungal decay evident within the external door and window suites.
- A carpenter needs to replace the rotten timber and have the new and existing timber re-painted by a painter
- Answer** **Window hardware (sash / spiral balance) requires replacing or repairs**
- Sash / spiral balance requires replacing
- Sash / spiral balance is broken and requires replacement
- Answer** **Sash cords require replacing**
- Sash cords require replacing
- Sash cords are broken or in a poor state of repair and require replacing.
- Answer** **There was hardware missing from the door / window units**
- Window hardware is missing
- Answer** **Window hardware damaged / not operating**
- Window hardware is damaged or not operating as designed.
- Answer** **One or more windows are painted shut**
- One or more windows are painted shut
- Answer** **There is weather damage evident to external door(s)**
- External door(s) are damaged due to not being adequately protected from the elements.
- Answer** **Weather damage evident to external window(s)**
- The external window(s) are damaged due to not being adequately protected from the elements
- Answer** **The external windows / doors / architrave and mouldings need to be maintained with paint / stain to preserve them from further deterioration**
- All external timber windows and doors should be re-painted or stained, as the existing timber units are slightly deteriorated and in need of re-coat / repair, Minor defect
- Answer** **The windows need to be prepared and re-painted**
- Answer** **The doors need to be sanded back / prepped & re-painted**
- Answer** **Not all external doors and windows were able to be opened / inspected / tested at the time of my inspection**
- All doors and windows need maintenance and regular upkeep
- Prior to purchasing this property, I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Major Defect

Photos





Question D. 4. IS THE KITCHEN FREE OF DEFECTS?

Sub-question *** JOINERY DOOR & DRAWER ANSWERS ***

Answer Cupboard doors / drawers misaligned

Cupboard doors / drawers are misaligned requiring adjustment or replacement of the hardware.

Answer Drawers swollen and binding

Drawers are swollen due to exposure to excess moisture and are binding, modifications are to be made if able, or item to be replaced

Answer Door and / or drawer hardware loose

Door and / or drawer hardware is loose and requiring adjustment

Answer Door and / or drawer hardware missing

Door and / or drawer hardware is missing, replacement item required to match existing

Answer The kitchen is old and in need of repair / replacement

Sub-question *** BENCHTOP ANSWERS ***

Answer Edge lifting around sink

Edge lifting around sink which may allow water entry to the cupboards below

Answer General delamination due to age

General delamination of benchtop due to the age of the kitchen fit-out

Answer Silicone to the benchtop and splashback defective

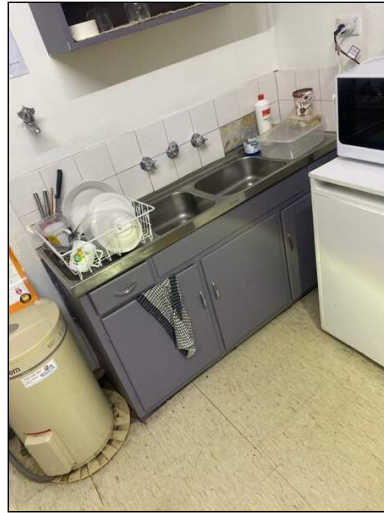
Silicone to the benchtop and splashback junction is missing or incomplete requiring re-applying

Answer Laminate benchtop chipped

Laminate benchtop can be seen to be chipped

Sub-question *** CUPBOARDS ANSWERS ***

Answer	Undersink cabinet spillage damaged Cabinet under the sink can be seen to be damaged due to products stored within this space being spilled
Sub-question	*** SINK & TAPWARE ANSWERS ***
Answer	Yes, the sink & tapware are free of defects The kitchen sink and taps were in acceptable condition at the time of inspection
Sub-question	*** WATER SUPPLY ANSWERS ***
Answer	Yes, the water supply operated freely The water supply to the kitchen operated and drained freely at the time of inspection
Sub-question	*** WATER SUPPLY / LEAKS, ANSWERS ***
Answer	Yes, water drained freely at the time of inspection The water drains freely as at the time of my inspection
Sub-question	*** SPLASHBACK ANSWERS ***
Answer	Cracked tiles Tile(s) in the splashback can be seen to be cracked, requiring replacement
Answer	Drummy tiles Tile splashback is drummy, this is due to inadequate or poorly applied adhesive To rectify this issue, the tiles would be required to be removed and re-applied with the correct and appropriate amount of adhesive
Answer	Loose / missing grout The grout between the tiles can be seen to be loose or missing The loose grout would be required to be removed with new grout applied to the affected area, this may result in a colour variance, to alleviate this, the entire area would need to be re-grouted
Answer	Gaps in sealant The sealant can be seen to be incomplete, requiring sealant to be re-applied to the affected area.
Answer	Refer To Supplementary Text / Photos / Defect Rating
Defect Rating	Minor Defect
Photos	



Question D. 5. ARE THE BATHROOMS FREE OF DEFECTS?

Sub-question *** TOILETS, PAN & CISTERNS ANSWERS ***

Answer Pan cracked

Cracks can be seen in the toilet pan, it would be advisable to have a plumber replace this item

Answer Cistern cracked / dislodged from the wall or pan below

Cracks can be seen in the cistern, it would be advisable to have a plumber replace this item.

Answer Pan & cistern cracked

Cracks can be seen in both the toilet and cistern, it would be advisable to have a plumber replace the entire toilet suite.

Answer Water leakage from pan

Water can be seen to leak from the toilet pan, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue

Answer Water leakage from cistern

Water can be seen to leak from the toilet cistern, this area is to be assessed by a plumber and the appropriate remedial works be undertaken to rectify this issue

Answer Cistern flush mechanism faulty

The flushing mechanism is faulty, requiring assessment by a plumber and the appropriate remedial works be undertaken to rectify the issue

Sub-question * IS THE INSTALLATION OF THE TOILET / BIDET / CISTERN DEFECT FREE? *****

Answer No, Cistern partially detached from wall

Cistern can be seen to be detached from the wall requiring new or additional fixings to secure it in the correct location

Answer No, Pans inadequately secured to the floor

Toilet pan is not securely fixed to the floor, plumber to assess and carry out the required remedial works to rectify this issue.

Sub-question * TOILET / CISTERN WATER SUPPLY ANSWERS *****

Answer Water hammer sound present when the water supply is active

At the time of testing the fitting water hammer was present

Sub-question * BASIN / VANITY TAPS ANSWERS *****

Answer Dripping tap(s) / leak within the fitting (possible faulty o-ring / spindle)

Tap(s) can be seen to be leaking through spindle, the o-ring requires replacement which can be undertaken by a plumber

Answer Dripping tap(s) / leak within the fitting (possible faulty washer)

Tap(s) can be seen to be dripping due to faulty washer, this item can be replaced by a plumber

Answer Cracks / leaks noted within the pipes

Leaks within the pipework have been observed, assessment of the area is recommended by a plumber and the appropriate remedial works be carried out

Answer Defective Tapware

A plumber should be engaged to inspect and repair any leaks or defective fittings

Answer The taps were hard to operate at the time of my inspection

A plumber needs to repair the tap set, so water flows fluently and the taps are easy to operate

Answer The spout is loose / defective, minor issue

Minor adjustments are required to the basin spout, to have it fixed off to the vanity unit / basin

Answer Water supply has hammering / vibration within the concealed plumbing

Water hammer sound present when turning on / off the water supply taps, a plumber should be consulted

Sub-question * BASIN / CABINET / MIRRORS ANSWERS *****

Answer Cracked vanity basin

The basin was seen to have a crack / chip / defect within the bowl

Answer **Sealant missing around the basin / vanity benchtop and the wall linings**

Missing sealant around the vanity / basin, if left as is, over time, this will contribute towards the joinery rotting out and disengaging from the wall

Answer **Water damage to vanity cabinet**

Evidence of water damage within the vanity unit

Answer **Doors / drawers bind on cabinet frame**

The hinged doors and / or drawers require adjustments or repairs so they operate correctly and so they have equal margins

Sub-question ***** FLOOR WASTE / DRAINAGE ANSWERS *****

Answer **No, there are blockages in the water flow within the pipes**

On visual inspection, the areas appeared to be blocked

When testing the fixtures and fittings these items do not drain freely at the time of the inspection

Sub-question ***** WALL & FLOOR TILES ANSWERS *****

Answer **Cracked tiles**

Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle

Answer **Drummy tiles**

Tiles have been assessed to be drummy due to failed or inadequate adhesive

These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable

Answer **Loose / missing grout**

Grout can be seen to be missing or dislodged requiring the area to be re-grouted

Answer **Gaps / defective sealant**

Areas of sealant can be seen to be incomplete or defective requiring attention

Answer **No silicone sealant within the bathrooms**

Silicone sealant not evident at the time of inspection

Sealant should be applied to all internal and external tiled junctions

Answer **Efflorescence leaching out of the floor tiles**

Efflorescence is seen within the bathroom tile mortar joints.

This normally means there is a mixture of sands used in the floor tile beds or there may be excess moisture within the mortar / screed / tile grout joints, that pools in the mortar / grout

Further investigation is required to see, if in fact, this issue has been already dealt with or if there is still work to be done to this area of the property to overcome this issue

Answer Minor cracks in the FLOOR & WALL wall tiles junctions

Typically, these cracks are minor and common issues found in most homes / bathrooms due to various reasons

All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months

Answer Minor cracks in the VERTICAL WALL TILE junctions

Theses cracks are minor and commonly seen in most properties

These cracks are typical settlement cracks seen within masonry and timber framed walls within wet rooms and bathrooms

The reason for these cracks can vary but they are normally concealed by grout or silicone and we don't normally see them in new / modern bathrooms as current "new construction regulations" requires tradesmen to apply silicone to all internal junctions of the wall and floor, vertical wall tile junctions within the bathrooms, shower cubicles, laundry floors and walls plus kitchen benchtop and wall junctions

All cracks should be monitored and sealed with bathroom silicone if they are seen to be stable / stagnant over a period of twenty four months.

Answer Hairline cracks within the body of the WALL TILE MORTAR JOINTS

I saw cracks in the grout of a wall tile

The wall tiles can be loose and drummy, further investigation is required as it's not normal to see a tile with cracks within the tile or within the mortar joints around wall or floor tiles, as this could mean the glue has disengaged from the tile or the substrate or that there is an issue within the substrate that is forcing the tile loose / off its original position

Further investigation is required

Answer There is a bow in the wall tiles

Further investigation is required to see, if in fact, the wall tiles are loose or if the wall was bowed or defective

Sub-question * SHOWER SCREEN ANSWERS *****

Answer Inadequately sealed at floor / wall junctions

Inadequately sealed at floor / wall junctions:

New silicone sealant is required to the wall and floor tiles where they are in contact with the shower screen

Sub-question * SHOWER LEAK ANSWERS *****

Answer Water damage along adjacent wall, suspected membrane failure

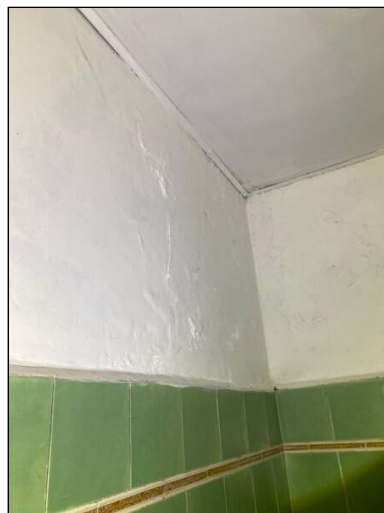
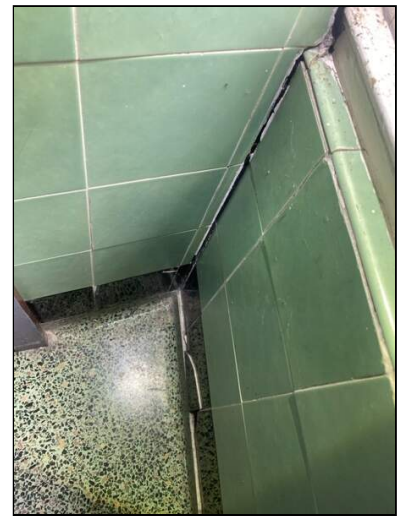
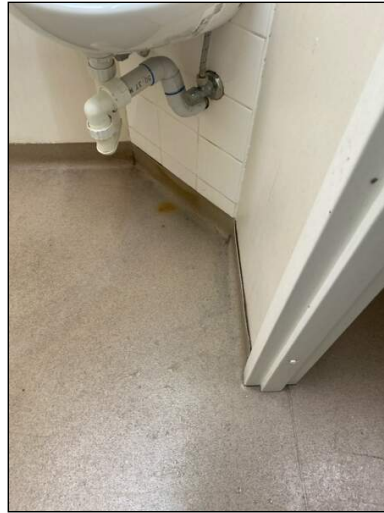
Flood test is required, to know if the waterproofing membrane within the bathroom or shower cubicle has failed or if there is a leak

Sub-question * SHOWER WALL & FLOOR TILES ANSWERS *****

Answer There are cracks within the tiles of the shower cubicle

Tiles can be seen to be cracked, these tiles are to be replaced to avoid the possibility of water exiting the shower cubicle

Answer	<p>There are drummy tiles within the shower cubicle</p> <p>Tiles have been assessed to be drummy due to failed or inadequate adhesive</p> <p>These tiles are to be removed if possible and re-laid correctly or replaced if this is not achievable</p>
Answer	<p>There is loose and missing grout within the shower cubicle tiles</p> <p>Grout can be seen to be missing or dislodged requiring the area to be re-grouted</p>
Answer	<p>Gaps in the existing sealant / silicone / grout</p> <p>Gaps can be seen in the sealant, this will require the area in question removed and new sealant applied</p>
Answer	<p>No silicone sealant is applied within the BATHROOM</p> <p>All internal corners, both vertical and horizontal, should have silicone sealant applied to the junctions within the bathroom, WC, laundry</p>
Answer	<p>No silicone is applied within the SHOWER CUBICLE / internal junctions within the shower cubicle</p> <p>Within the shower cubicle, there should be silicone or a flexible sealant applied to all wall and floor tiles junctions, plus vertical wall tile junctions and wall and floor tiles where they meet the shower screen, this is not the case within this property</p> <p>This is an easy fix for any handy person or tradesman</p> <p>This assists in retaining moisture within the wet room / shower cubicle and this assists in limiting any cracks occurring within the wall and floor tiles when the building settles / moves between seasons</p> <p>This is a minor defect and commonly found in older style homes or not so recently built or renovated properties</p>
Answer	<p>I suggest you apply a bead of silicone to all internal junctions within the shower cubicle (over the existing grout / sealant) to keep all moisture within the shower</p>
Sub-question	<p>*** SHOWER TAP ANSWERS ***</p>
Answer	<p>Within the shower, the tap(s) are dripping and leaking, possible faulty washer</p> <p>Tap(s) can be seen to be dripping due to a faulty washer, this item can be replaced by a plumber</p>
Sub-question	<p>*** CONDENSATION / EXHAUST FAN ANSWERS ***</p>
Answer	<p>Exhaust fan faulty / Not working</p> <p>Condensation damage evident, exhaust fan faulty</p>
Answer	<p>Refer To Supplementary Text / Photos / Defect Rating</p>
Defect rating	<p>Major defect</p>
Photos	



Question D. 7. INTERNAL STAIRS; ARE THEY FREE OF DEFECTS?

Sub-question *** STAIR TREADS & RISERS ANSWERS ***

Answer

Yes, the stair stringers, handrails, balusters, treads and risers are sufficiently rigid and free of damage

The staircase is in good order, with no defects seen at the time of my inspection

Sub-question *** HANDRAIL / BALUSTRADE COMPLIANCE ANSWERS ***

Answer Handrail height doesn't meet current regulations

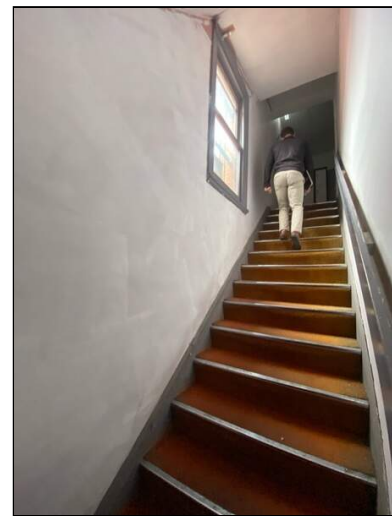
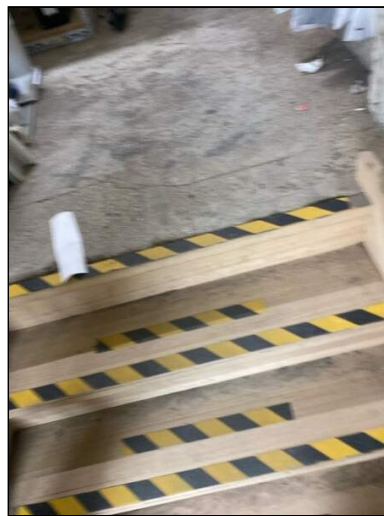
Handrails must be at 1m in height on all level walkways and landings

Handrails must be no less than 865mm along the staircases

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Safety Hazards

Photos



Question D. 8. DO ALL ELECTRICAL FIXTURES & FITTINGS APPEAR FREE FROM DEFECTS?

Sub-question *** POWERPOINTS COSMETIC ANSWERS ***

Answer Wall plate(s) loose or damaged

Answer Switch mechanism(s) incorrectly seated

Answer Faulty / missing / damaged powerpoints

Sub-question *** GPO LOCATION ANSWERS ***

Answer Yes, all powerpoints appear located within a safe location

To the best of my knowledge the existing powerpoints are not within the zone of non-compliance

Sub-question *** LIGHT SWITCHES COSMETIC ANSWERS ***

Answer There were wall plates damaged / loose / not fixed off to the wall well and safely

Answer Switching fixtures are poorly installed / adjustments required

Answer Faulty light switch(s)

Answer Exposed electrical wires

Answer Data / Intercom / Phone / TV fittings missing / defective

Sub-question *** LIGHT FITTINGS COSMETIC ANSWERS ***

Answer Fittings partially detached from ceiling / wall

Answer Missing fittings

Answer Damaged fittings / Missing bulbs

Sub-question *** CEILING FANS ANSWERS ***

Answer Ceiling fans were partially detailed / lowered from the ceiling level

Answer Ceiling fan was not working at the time of my inspection

Answer Bathroom exhaust fans were not in working order

Sub-question *** SMOKE ALARMS ANSWERS ***

Answer This property does not meet the minimum requirements for smoke alarms

A licensed electrician or installer needs to be commissioned to have the correct number of smoke alarms installed and checked every twelve months

This is a very important issue that needs to be addressed ASAP

THIS IS A MAJOR DEFECT

Photos



Question D. 9. IS THERE A PEST NOTIFICATION LABEL WITHIN THE ELECTRICAL METER BOX OR WITHIN THE KITCHEN CUPBOARD?

Answer No, I did not see a pest control sticker within the meter box or within the kitchen cupboards

I did not see a pest contractors sticker within the electrical meter box nor within the kitchen cupboard doors at the time of this inspection (Confirming the property has been treated within the last twelve months)

Within the electrical meter box or within the kitchen cupboard doors are the building industry standard locations for a pest contractor to install their stickers confirming their work and the type of spray or treatment used on site

* The sticker confirms the last inspection date and type of treatment used

We recommend all properties be inspected regularly, the average lifecycle of a chemical spray system is less than twelve months, we recommend all properties be assessed and reported on and a chemical treatment be applied every six to nine months as a "Best Pest Prevention Plan" for this property

This is a defect and every property should be sprayed / treated every six to nine months regardless of the type of building or structure or materials used within the building internally or externally

This defect could become a major issue if not addressed

I recommend this property be inspected and treated on a regular basis

Part 5: Exterior of Building

Question

***** S. 10. EXTERNAL DEFECTS / AREAS OF IMPROVEMENTS

Answer

Summary Of Defects and Possible Issues, that you should be made aware of about this Property

Summary

No weep holes within the external masonry walls, this allows for water ingress into the internal occupiable rooms and / or water pooling within the cavities, not ideal, as this could contribute towards termite / pest infestation within the property.

No damp proof course protruding through the external masonry walls / brick mortar joints.

No control joints or expansion joints within the external masonry walls.

All downpipes drain directly onto the floor and up against the building, this is highly illegal especially because the stormwater from the roof floods the pathways and public domain, which could increase the risk of a person slipping over due to slippery services during raining and post rain periods.

Downpipes drain directly onto the floor and up against the building, this would definitely contribute towards the water ingress found within the internal elevations of the property.

There are downpipes draining down the wall and meeting the floor and wall junction, this would definitely be a major contributing factor towards swelling of the foundation material and potential uplifting of the soil and undermining of the soil / foundation material, which would be contributing factors towards the many minor and major structural cracks found within this building.

The box gutter and rainwater head outlet of the awning have no downpipe connection - a major non-compliance and safety issue for passing pedestrians.

Located along the right side external masonry wall, there are perps / gaps in the brickwork which may have been, once upon a time, air vents servicing the subfloor area for ventilation when the building may have had a timber floor structure. Today these gaps are concealed

beneath the external floors / pavers which create a concealed termite entry point into the building. This elevates the risk of termite infestation to a high-risk category due to this non-compliance aspect of the building.

When walking down along the right side of the external elevation of the building, there is a major structural crack and failure within the masonry wall that commences at the rainwater head location, running down on a splay ending at the sandstone lintel over the window head. The crack then continues along the window and masonry reveal junction and then it continues within the center of the windowsill all the way down to the ground floor / concrete pathway. This structural crack within the masonry wall must be repaired immediately.

Along the right side external wall of the building, there are a pair of doors beneath the rear skillion roof, the doors were fixed shut with metal cleats. These doors no longer operate as fire exit doors and the building fire compliance certificate must be reviewed in order to understand if in actual fact these doors are fire exit doors exiting the building.

Along the right side of the property, there is a triangular roof above the fixed doors. There is non-compliant wall and roof flashing junction detail and missing weep holes above the roof, making it highly possible and likely that water will enter the cavity for the internal elevation of the building.

Along the right side external masonry wall towards the rear of the building, there are a secondary pair of doors that are also permanently shut. When reviewing the internal fire escape plan located in the front retail store these doors are noted to be fire exit doors. I can confirm that these doors are not fire exit doors in their current state and condition. This is also confirmed because when I went to inspect these doors internally they were bolted and locked shut, making these doors non-compliant and making this entire building a major safety and fire hazard building because none of the exit doors to the left, rear, or side of the building complies with past or present fire compliance regulations.

When inspecting the rear elevation of the building, I could see a number of metal plates being installed over structural cracks found within the external masonry walls of the building. These plates are typically installed in order to retain failed brickwork as seen to be the case in the rear elevation masonry walls in a number of locations.

Along the right external elevation of the building, in the back right corner, there is a long structural crack through the body of the brickwork running in an S-shaped pattern in somewhat parallel to the large box gutter and downpipe junction. This crack must be re-stabilized with perhaps helifix pins and / or metal fish plates as seen within the rear elevation of the building.

I would not be surprised if a structural engineer was to inspect this building, they would suggest the following:

1. A detailed dilapidation report should be commissioned measuring and recording all structural cracks, major and minor, within the internal and external elevations of the building.
2. An engineer would strongly recommend that an in-ground stormwater system be implemented together with a fully compliant gutter and downpipe solution be installed within the building in order to collect, control and disperse of all moisture off-site and not dispersed within the soil / foundation material / garden pathways around this property.
3. The engineer would most likely ask that the dilapidation report be referred to and cross-referenced against the building's future movement on a six-monthly basis for a period of six to twenty-four months post the stormwater system upgrade is complete, in order to understand if the current structural failures are still active or if they have stabilized due to the upgrade of the property stormwater system.
4. Should the engineer find continual movement within the property, a typical recommendation would be to underpin the entire length of the walls where the cracks are present or movement is still active, which, at surface value, would be the entire right elevation and rear elevation of the building.

Along the right elevation of the property, there are two pairs of doors, the architraves and door reveals show water ingress issues which should be addressed / repaired in order to prevent the continued issues / rusting / wood rot within the doorjambs and water entry in the property in general.

The rear elevation of the building has four full-height floor-to-rooftop elevation cracks within the external masonry wall. These cracks have been patched in two locations with metal fish plates, however, these cracks must be monitored and if further cracking appears an engineer must be engaged to assess and to create a scope of works in order to rectify and stabilize the cracks and preserve the structural integrity of the building.

All downpipes commenced at the top end of the run are colourbond or PVC and the bottom 2m - 3m are cast iron pipes. There are minimal astragals holding the cast iron downpipes in position. Should the astragal detach from the wall, this could fall and cause serious damage and injury to property and / or people passing by.

Along the left side of the property, accessible only via walking through the commercial building and exiting the left external door, I found that there was a non-structural / major safety hazard due to the steel staircase severely corroded and not structurally stable or safe to use. This is a major safety hazard for a person attempting to use the stairs or a person beneath the stairs as the steel stair structure could fail and fall without notice.

There is a cast iron downpipe which is suspended and dislodged and can fall at any time upon a person. Should a person be there when the downpipe falls this could be fatal. This is a major safety hazard.

Along the left side of the property, there is a fallen tree that has crushed the flat metal roof and roof plumbing. This tree has fallen some time ago and also bears upon the AC compressor unit.

In a heavy rain period, it looks like this area floods, this area only has open porous garden beds along this left elevation of the building.

There is excessive mould and moisture in the walls and no real logical reason why this should be the case in this area, I can only assume it's because of major water within the cavity of the external walls (this is where the metal stairs are located).

It looks like the neighboring property has encroaching PVC plumbing over this property - major breach and non-compliance issue.

Many minor and medium to long cracks seen in the external left walls of this building.

Excessive wood rot seen in the external doors and windows.

External timber windows and all doors were not able to be opened - major safety and fire compliance issue.

Defect Rating Summary Of The External Main Defects

Photos



Question D. 11 ARE THE EXTERNAL WALLS, WINDOWS, CLADDINGS, BEAMS & FLASHINGS DEFECT FREE?

Sub-question *** STRUCTURAL ANSWERS ***

Answer Cracks within lintels spanning the door and window openings

I saw the masonry walls and concrete lintels within this property have small cracks within the body of the walls / lintels

If these cracks open up or develop any larger than their current size, they should be repaired by a bricklayer / builder

Answer Rusted lintels, damage evident

There is rust present within the steel lintel (s)

A site treatment of the exposed steel members should be carried out ASAP to prevent the steel from further deterioration

A structural engineer and / or builder should be engaged to assess and report on the scope and to have the works carried out to meet current standards

Answer Minor cracks within external brickwork

The house has minor cracks seen within the external elevations of the property

These cracks are typical and non-structural issues, should they open up or develop over time, a structural engineer should be engaged

This is a minor defect in the current condition of the property

Answer Small to medium cracks were found within the external brickwork

The property has minor to moderate cracks seen within the external elevations

There was evidence of Category 2 cracking in sections of the mortar lines / bricks

These issues are non-structural issues but they should be monitored and if they continue to open up or develop over time a structural engineer should be engaged

This is a minor defect In the current condition of the property

Answer

Large cracks were found within the external brickwork

The house has large and major cracks seen within the external elevations of the property

The cracks within the external walls need to be addressed as I feel they are over and above acceptable cracks for a house of this nature and size and location

These cracks would be classed as Category 3 or above cracking located within this property.

This means there are cracks greater than 2mm wide within the external walls

These cracks are structural issues, a structural engineer should be engaged to confirm if the cracks found are stable and if any further works are required by a building contractor in the future

Further investigation required

Answer

Lime mortar, minor cracks within external brickwork

The house has minor cracks seen within the external elevations of the property

The cracks within the external walls are typical for period home due to lime mortar construction; these cracks are typical and non-structural issues, should they open up or develop over time a structural engineer should be engaged

This is a minor defect in the current condition of the property

Answer

Lime Mortar, large cracks within external brickwork

The house has large and major cracks seen within the external elevations of the property

The cracks within the external walls are typical for period homes due to lime mortar construction, but they need to be addressed as I feel they are over and above acceptable cracks for a house of this nature and size and location

These cracks would be classed as Category 3 or above cracking located within this property.

This means there are cracks greater than 2mm wide within the external walls

These cracks are structural issues, a structural engineer should be engaged to confirm if the cracks found are stable and if any further works are required by a building contractor in the future

Further investigation required

Answer

Cracks in render, minor

Cracks found within the rendered finish

Cracks appear to be minor in nature following the line of brick joints

Answer

Category 2 cracks, Above / adjacent to door and window openings

There was evidence of Category 2 cracking in sections of the walls above / adjacent to door and window openings

This can be caused by rust deterioration in the steel lintel over the window or door openings

A builder or bricklayer should assess the lintel

Any wall cracking should be assessed by a structural engineer, especially if it appears to widen over time

Answer **Category 2 cracks, Below / adjacent the door and window sills**

There was evidence of Category 2 cracking in sections of the window sill mortar / render

A builder or bricklayer should assess this issue or failing that, a structural engineer, especially if it appears to widen over time

Any wall cracking should be assessed by a structural engineer, especially if it appears to widen over time

Answer **Missing mortar within the face brickwork**

This could contribute towards the property having current and / or future structural issues if left as is

Further investigation is required to this area of the house should it develop any further from its current state

Answer **I saw moisture within the external walls of this property**

It's best to have the walls that are affected by moisture monitored and if they develop any further I recommend that you get a moisture consultant or builder in to assess and make good the issue, to prevent the substrate and finished surface from further deteriorating or allowing water to enter the internal spaces of the property

Sub-question ***** NON STRUCTURAL ANSWERS *****

Answer **Rising damp / salt residue on lower walls**

Salt residue could lead to internal lower wall paint flaking which is associated with rising damp problems

It is imperative that specialist advice be sought to ascertain the cause and extent of the rising damp problem

Rising damp in one area of the dwelling that is visible may mean that other sections of the dwelling may be affected and not visible

Accurate diagnosis of the cause and extent of the damp problem is very important, specialist advice must be sought

Further investigation is required by a bricklayer or a damp proof specialist

Answer **Lower brick mortar decay / missing mortar from the face brick and sandstone walls**

Lower brick mortar decay / missing mortar was evident at the time of inspection from the masonry walls

Lower brick mortar decay evident is a typical issue for lime mortar built projects which are exposed to the weather and not maintained over time

Requires assessment by a qualified bricklayer

This can be age-related, poor mortar mix related and rising damp penetration related

Further investigation is required by a bricklayer or a damp proof specialist

Answer

There are holes in the external walls that could allow for moisture / vermin to enter the property / cavities / subfloor areas

All holes within the external walls should be repaired / sealed to reduce the risk of water / moisture entry or pest entry / infestation

Answer

Weep holes covered

Weep holes missing

Weep holes could be covered by soil / vegetation / pathways / render

You should remove the render or obstructions in front of the weep holes

You should lower soil levels so that subfloor vents are clean and allowing free-flowing air to the cavity and subfloor area

Covered weep holes also provide concealed entry points for termites

Having no weep holes allows water entry into the subfloor area, internal cavity walls and internal walls of the property

The water within the cavity walls cannot be expelled from the building / walls and sometimes you will see moisture within the internal walls, skirting and floor coverings due to concealed or missing weep holes

If the weep holes are concealed, it allows the water to pool within the subfloor area attracting pest/termite activity, this is also conducive to termite infestation and timber fungal decay

Answer

Poor pipe penetration sealing / missing brick / mortar

Penetrations should be well sealed to prevent damp penetration and subsequent deterioration of internal linings

Engage a bricklayer to assess and remedy ASAP

As per the Guide to Standards & Tolerances 2007 - clause 7.08 - Pipe Penetrations Through External Walls and Inside Cupboards

Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat maximum size penetrations, or fitted with tight-fitting cover plates or collars with penetrations kept to the smallest size particle

Contact a plumber or building contractor to seal all openings within the external envelope of the building

Answer

No DPC seen through the render walls

All walls rendered should have the control joints and damp proof course exposed through the render, so that it doesn't allow bridging of the external render / linings

Answer

No DPC seen within the face brickwork

The external face bricks did not have a exposed/expressed Damp Proof Course installed within the face brickwork, the DPC could be embedded within the mortar bed but I could not see it at the time of this inspection

Answer

Air vents / grills covered and / or blocked

The air vents installed to the external walls are covered / obstructed which will allow pests and moisture to enter the subfloor area if left as is

The purpose of air vents is to allow fresh air ventilation to the subfloor area meeting current or past regulations

I see that there is inadequate vents / grills within the external walls making the subfloor area non-compliant due to poor / reduced volume of air for ventilation and poor crossflow ventilation to the subfloor area

Answer Air vents / grills missing from the external walls

The purpose of air vents is to allow fresh air ventilation to the subfloor to meet current or past regulations

I see that there are missing vents / grills from the external walls, therefore making the subfloor area non-compliant due to poor ventilation and poor crossflow ventilation to the subfloor area

Answer Moisture damage to the eaves / soffit lining boards

Finding the reason / source of the water entry to the eaves / soffit lining boards is required and once repaired, the eaves also need to be repaired and re-painted

Sub-question * WALLS DOORS & WINDOWS ANSWERS *****

Answer Missing weep holes above/below the windows or doors

All doors and windows should have had flashings installed when they were originally installed within the cavity, directed to the external walls of the property

Weep holes allow any water within the cavities to seep out from the walls/cavities

I assume there are concealed flashings above and below the external doors and windows, this property has minimal to no weep holes above or below external doors and window openings

Lack of weep holes will create dampness within the cavity and within the internal wall linings and it will contribute towards the render cracking and render crazing, this will eventually become drummy and fall off the wall, any timber attached to the walls in question will rot and deteriorate before its natural time

THIS IS A MINOR DEFECT / ISSUE

Answer No flashings / Storm moulds

Storm moulds are designed to seal the door / window junctions to the reveals

Answer Window & door sills allow water entry in high winds

There is excessive gaps seen at the base of the window / door suites and sill junctions

Answer Evidence of water entry through sills exists

The sill and door / window junctions should be flood tested and made good to prevent any further water entry

Answer Woodrot in the timber doors

Answer Woodrot in the timber windows

Answer Minor Repairs required to the external doors and windows

Sub-question * FLASHINGS & DPC ANSWERS *****

Answer	<p>I cannot see flashings evident above and below WINDOWS AND DOORS (masonry walls)</p> <p>Flashings should be installed above and below each window and door unit</p> <p>Weep holes should be installed to allow moisture to seep out of the wall cavities</p> <p>When no weep holes are installed or seen in a property such as this one, it raises the possibility of moisture being trapped within the internal skin of the property</p> <p>NOTE:</p> <p>This is a common problem found in properties that are rendered after the original build</p> <p>Builders and bricklayers often install flashings and weep holes when they build a new building, but when new owners move into a property they often render the external wall linings and the weep holes get covered over by the renderer and painter as they don't always expose the weep holes</p> <p>All period buildings that are not renovated do not have weep holes installed over the doors and windows as it was not industry standards back when this home was built</p> <p>THIS IS A MINOR DEFECT!</p>
Answer	<p>I cannot see a damp proof course / flashing evident at the BASE of the external walls within this property</p> <p>I did not see a damp proof course (DPC) within ALL EXTERNAL WALLS within this building</p> <p>I am not confirming that there is not a concealed DPC within the mortar joints but I am confirming that I did not see the normal PVC / LEAD / SLATE damp proof course embedded within the external walls / brick joints within the external elevations within this property</p> <p>It is best practice to have all surrounding surfaces around the building clear of any materials that may retain moisture, with minimal garden beds up against the building</p> <p>All hard surfaces around the building should direct the surface water and any stormwater away from the building, keeping the walls, foundations and footings of the property as dry as possible limiting the possibility of rising damp.</p> <p>THIS IS A MINOR ISSUE / DEFECT</p>
Answer	<p>Damp proof course is faulty / defective (Moisture above DPC)</p> <p>There is dampness seen on the external walls above the damp proof course</p> <p>You should engage a builder or hydraulic engineer to assess and make good this issue to mitigate any further impact to the area in question</p>
Answer	<p>Dampness seen within the external walls</p> <p>There is dampness seen within the external wall of the property</p> <p>There is a need to have this issue assessed and made good by a qualified builder</p>
Answer	<p>Missing window storm moulds</p> <p>There are missing window storm moulds / excess gaps which may allow pests / vermin / moisture to enter the cavity</p>
Answer	<p>Missing door storm moulds</p>

Door storm moulds are missing, gaps may allow pests / vermin / moisture to enter the cavity

Answer

I couldn't see the wall flashing installed and exposed between the lightweight wall and Window and Door heads

This could result in water entry into the walls and into the subfloor and internal elevation of the property.

This is not ideal as wood rot can develop and wet and damp materials could draw termites to the property

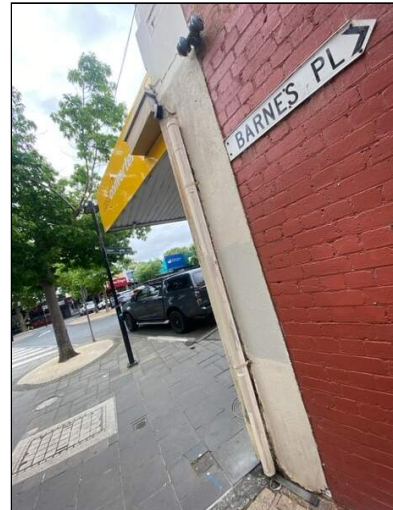
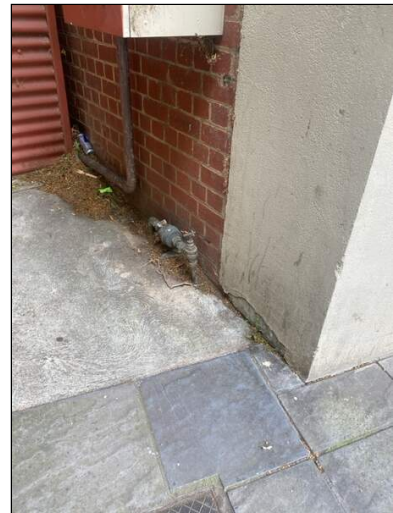
Answer

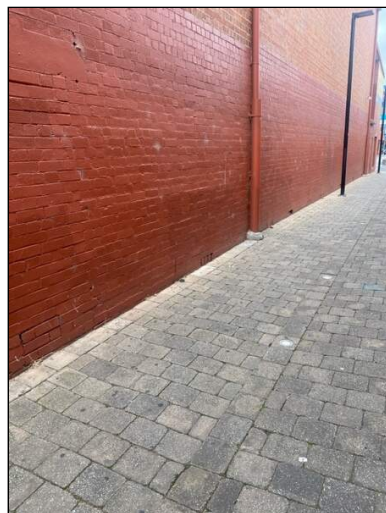
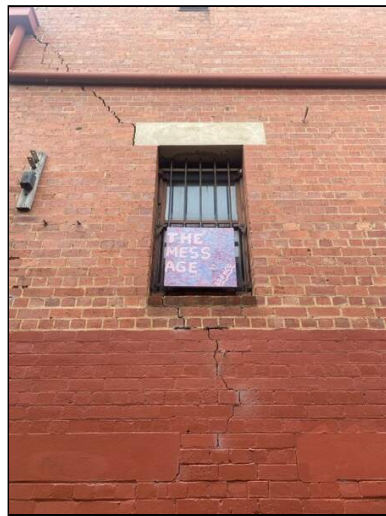
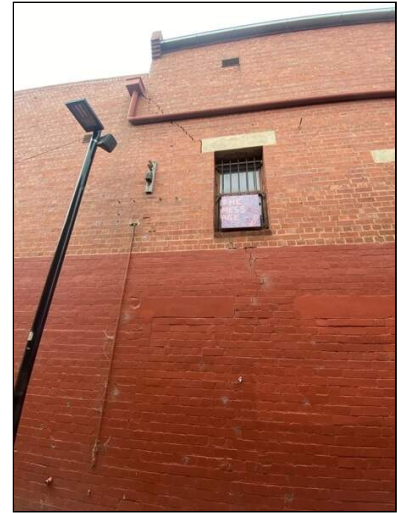
Refer To Supplementary Text / Photos / Defect Rating

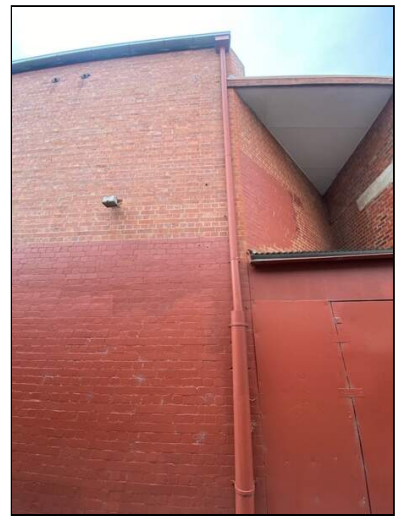
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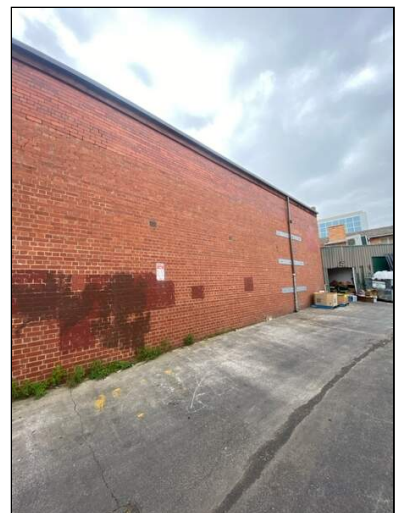
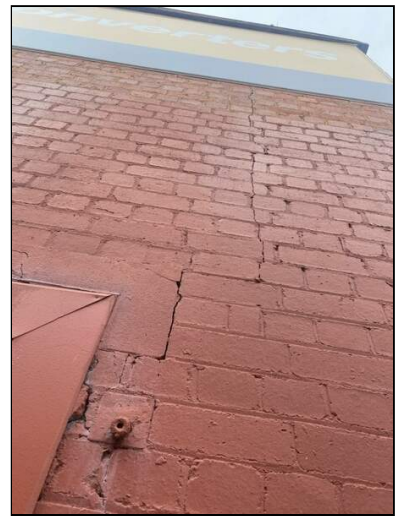
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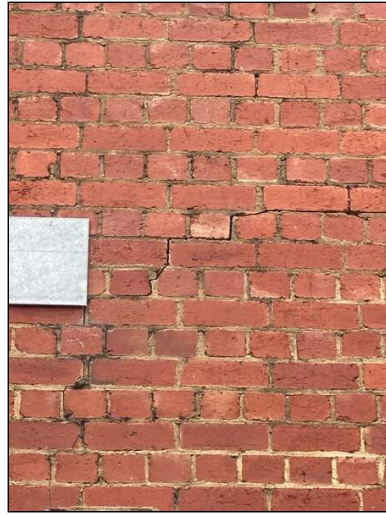
Photos



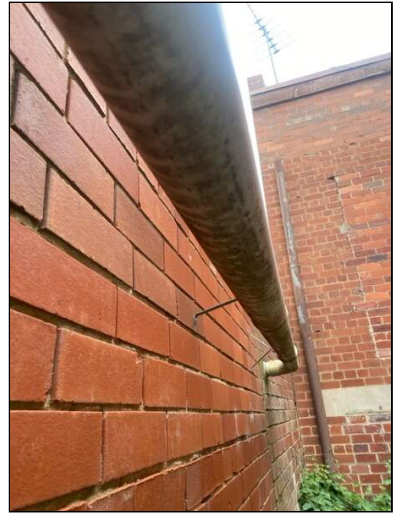


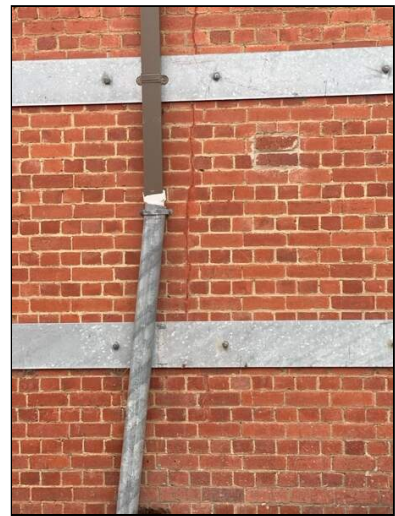
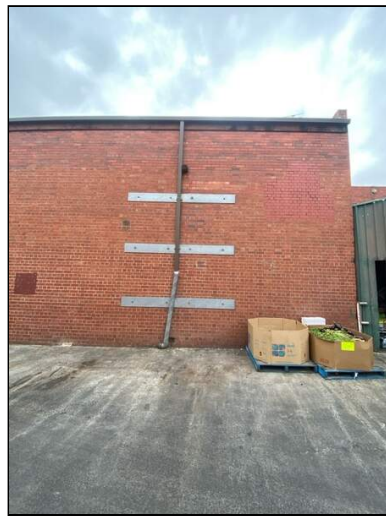


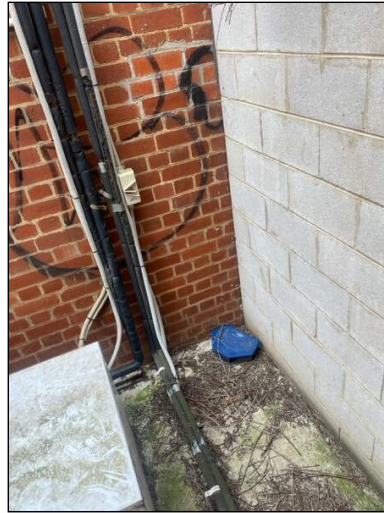












Question D. 12. EXTERNAL STAIRS, BALCONIES, VERANDAS & TIMBER DECKS; ARE THEY FREE OF DEFECTS?

Sub-question *** MAIN STAIRS LEADING TO THE FRONT DOOR, ANSWERS ***

Answer Yes, the stairs are safe to use

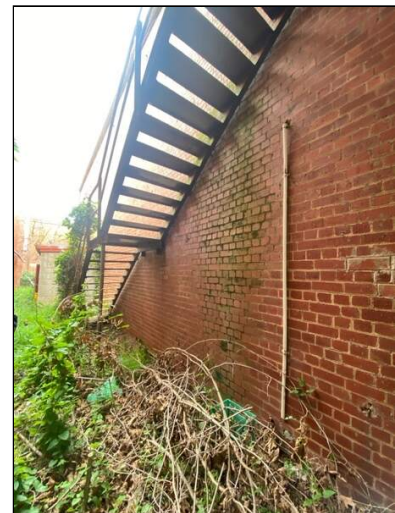
Stairs and handrails are in order at the time of this inspection

Sub-question *** SIDE, REAR OR GARDEN STAIRS, ANSWERS ***

Answer Yes, these stairs and handrails are in order at the time of this inspection

Stairs and handrails are in order at the time of this inspection

Photos





Part 6: Roof Exterior

Question

***** S. 13. ROOF ELEVATIONS & ROOF PLUMBING:

*** DID YOU INSPECT THE ENTIRE ROOFTOP ELEVATION?

*** IS THE GUTTER LINE AT 2.7M OR LOWER IN HEIGHT FROM THE GROUND LEVEL?

***DID YOU ACCESS THE ROOF ELEVATION ON SITE?

Answer

Yes, I inspected the roof up until 2.7m off the natural ground level

I accessed the roof, where it is a single story building which has a gutter level of 2.7m or lower

Any areas above 2.7m off the ground were not inspected due to WH&S regulations

The roof was accessed using a 3.6m ladder from the natural ground level

There were Roof Linings, Gutters / Fascia / Bargeboards at 2.7m or lower from the natural ground level that were inspected, making it compliant for an assessment to be carried out

Any areas above 2.7m were not inspected and a second inspection is recommended by two inspectors, or via a harness being set up or via drone assessment of the roof if you want the entire rooftop elevation inspected and reported on.

Answer

I only inspected the roof elevation on the single story level

The second story roof was not inspected due to height restrictions

If I make any comments on the roof elevations on the first / second or third floor, they are comments made from a distance and it is not a full assessment of the issue raised

If you want a full assessment of the roof on all elevations, a second inspection is required with two inspectors or an inspector with a harness set up (additional fees are applicable to reinspect and to update this report)

Answer

This property has multiple roof levels, I accessed the roof in part only, not in full

The building has gutters ABOVE and BELOW 2.7m in height

I only inspected the roof linings and gutters that were at 2.7m in height or lower

The remaining roofs / roof plumbing were not inspected nor reported on within this report

I did not access the entire roof elevation nor roof plumbing as the gutter line is above 2.7m in height in random locations

(A 3.6m ladder services a 2.7m high gutter line)

As per Work Health Occupational Safety Regulations, any roof over 2.7m from the natural / finished ground level is inaccessible for a single inspector, and that was the case with this property

If you want a complete and comprehensive assessment of this roof and all the elements associated with this roof, we must return to carry out a second inspection with a harness and a second inspector, then you can rely on the facts and our findings within that report

A second inspection to cover the entire roof will cost \$690 + GST

(This includes two men plus ladder / harness hire to safely access the roof)

You cannot rely upon this report for the condition of the roof tiles / roof sheeting / roof plumbing or any other elements found on the roof over the entire property

NOTE :

If I comment on the roof tiles / roof sheeting / roof plumbing, and the roof / gutter line is over 2.7m in height, our comments are general comments only

If we do comment on the roof it's an assessment done via:

- * From a distance or by using our zoom camera
- * Overlooking windows or structure which allows us to view the roof without actually gaining full access
- * We comment on the roofs as seen off a ladder

Answer **I did not inspect the roof over the second story structure**

A second inspection is recommended with a drone or a two-man team meeting WH&S guidelines

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Location I only inspected the roof over the right side and left sides.

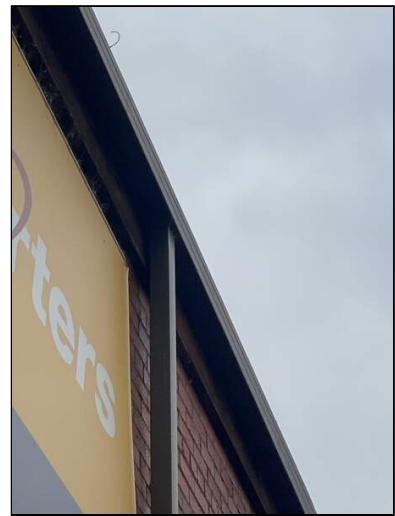
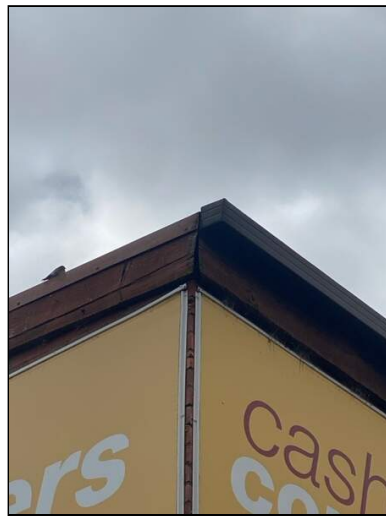
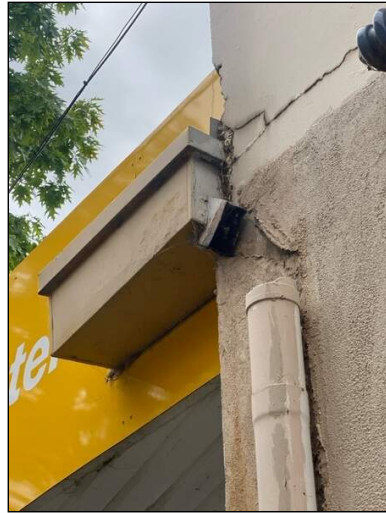
The front awning was not inspected due to WH&S and the overlooking windows could not be opened by me nor the building manager that I asked to assist.

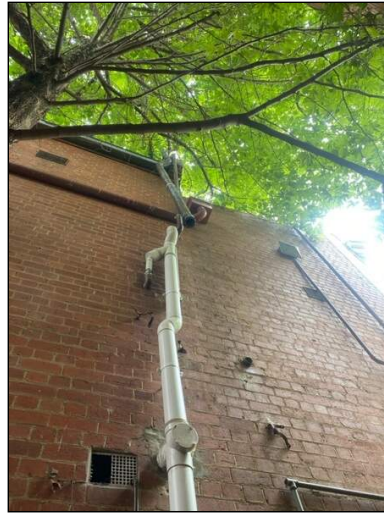
The top elevation of the roof was not inspected as it's above 2.7m / 3.6m in height.

Defect Rating Further investigation as I did not inspect the entire roof elevation

Photos







Question ***** S. 14. IS THE ROOF ELEVATION FREE OF DEFECTS, SUBJECT TO THE AREA THAT WAS ABLE TO BE SIGHTED / INSPECTED ON THE DAY OF YOUR INSPECTION?

Sub-question *** ROOF SHEETING ANSWERS ***

Answer Minor rust found within the roof sheeting

Answer Extensive rust found within the roof sheeting

Extensive rust was found on the roof sheeting

Replacement is required ASAP

Call a roofing contractor to have this made good and the house watertight

Answer Minor rusting to flashings

Minor rust found in sections on the roof flashing, repairs or replacement is required ASAP

The roof flashings may be able to remain as is, with minor surface repairs carried out.

Call a roofing contractor or handyman to have this made good

Answer Roof nails / screws lifted

Some roof fixing nails/screws have lifted

Have a plumber re-fix with roof fixing screws

Answer Minor dents in the roof sheets, flashings and capping's

Minor imperfections / dents and undulations within the metal deck roof sheets, roof flashings and capping's

Answer Minor rust seen within the screw heads holding down the roof sheets

This is common to see rust in screw heads as they are commonly damaged during the installation of the screw heads

Answer Roof sheets do not sit tight and flush with each other

Minor repairs are required to have the roof plumbing / roof sheets made watertight

It is common to leave the sheets as is, with a filling / waterproofing compound applied to the open junction and excessive gaps in between the sheets when they do not sit tight nor hard up against each other

Answer **Roof sheets are covered with leaves & debris**

The roof lining must be cleared & cleaned to confirm if there are any moisture entry points within the roof sheeting

Sub-question ***** ROOF FLASHINGS ANSWERS *****

Answer **Lifted flashings**

The flashings installed need to be worked on as they are lifted and defective which could allow water to enter the roof void and the internal spaces below

A roof plumber should be engaged to repair and make good this issue

Answer **Lead flashing is in direct contact with the colourbond roofing material**

Corrosion of the colourbond material is expected if the lead is in direct contact with colourbond material

Answer **Corroded flashings**

The flashings are corroded and in need of repair or replacement

A roof plumber would be the best contractor to call to have this repaired

Answer **Impact damaged flashings**

The flashings installed needs to be worked on as they are defective

A roof plumber should be engaged to repair and make good this issue

Answer **Damaged and defective roof capping's**

Repairs are required to the roof capping, to make the property and roof framing / void watertight

Sub-question ***** ROOF PLANE ANSWERS *****

Answer **I could not see the entire roof elevations at the time of this inspection and I therefore cannot comment on the waviness of the roof**

Sub-question ***** ROOF GABLE ANSWERS *****

Answer **Missing cladding to the gable end**

Sub-question ***** SKYLIGHTS / WATERTIGHT ANSWERS *****

Answer **Sewer air vent pipe / cap is defective**

It's a quick and easy fix for a professional roofing contractor / roof plumber

Answer **Rust present on the metal flue / vents**

Rusty metal flue and vent, a roof plumber needs to inspect and confirm what parts are required and then have the works carried out ASAP

Answer **Vent / Flue leaning**

Flue is bent / leaning out of plumb, a roof plumber needs to inspect and confirm what parts are required and then have the works carried out ASAP

Answer **Flashings lifted**

The lead and PVC flashings around the skylight need to be modified / repaired as they are not in their original location nor condition which could lead to water entry into the building

The contractor needs to inspect and confirm what parts are required and to perhaps carry out a flood test to confirm if any water is entering through the skylight / the roof covering / roof flashing

Answer **I did not inspect the entire roof elevation**

As I did not see all aspects of the roof, I cannot comment nor can I give a comprehensive assessment and advice on this aspect of the roof

Any comments made are on the basis of what I could see from a distance on the roof but my advice is not covering the entire property

I suggest you have the roof assessed by two inspectors or a drone if you want a full and complete assessment of the roof elevations

Sub-question ***** VALLEYS / GUTTERS / DOWNPIPES ANSWERS *****

Answer **I did not access the roof & roof plumbing above 3.6m in height**

I did not access the roof & roof plumbing as the gutter line was in excess of 2.7m from the ground level below.

As per Work Health Occupational Safety Regulations, any roof with a gutter line over 2.7m from the ground level below level is inaccessible for a single inspector as it does not allow the safe use of a ladder as detailed in AS4349.1-2007 section 3.2.2 - Safe and reasonable access, this was the case with this property

If I comment on the roof / roof plumbing and it's over 2.7m in height, our assessment is a general comment only, on the basis of the inspection being carried out from afar (ground floor level or from the overlooking windows or verandas) but it's not a comprehensive and complete assessment that you can rely upon when making a decision when buying a property

If you want a complete and comprehensive assessment of the roof, we must return and carry out the assessment with a second inspector and then you can rely upon the facts and findings within our report

The roof sheeting and roof plumbing on this property is excluded from this assessment and this report

NOTE: If comments are made on the roof plumbing, it's because we reported on the areas below 2.7m in height in this report, but anything above that height is excluded from our assessment and this report

Answer **Gutters have rusted sections**

Gutters are rusted in sections that are visible around the dwelling

Excess water leaking from the guttering is conducive to timber fungal decay and an increased risk of termite infestation.

This can cause deterioration of the cladding plus wall and roof framing

This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings

Liaise with a roof plumber for the best solution.

Answer **Gutters are damaged / dented / defective, gutters are not in a straight plane, the gutters are in need of repair / replacement**

There is damaged / defective gutters on site.

The gutter should be repaired to limit the possibility of having excess water flood the eaves lining, walls and floors below the gutter

Constant leaking gutters can contribute towards pavers or tiles subsiding over time and a trip hazard is created, together with excessive water pooling under the subfloor areas of a property

Answer **Gutters were blocked**

I found blocked guttering and gutters with excess debris within them

The gutters need to be cleaned out to prevent blocking of downpipes and leaking into eaves and fascia

Answer **Gutters were full of leaves & debris**

Answer **Gutters are ponding**

Possibly due to debris or poor fall of actual gutter installation

You must have gutters cleaned and assessed by a plumber for adequate fall

Also regularly clean to prevent ponding, as ponding water will contribute to rust

Answer **Gutter joins separated**

Repairs required in order to prevent deterioration by leaking

Liaise with a plumber to have rectified

Answer **Gutter joins leaking**

Excess water leaking is conducive to timber fungal decay and an increased risk of termite infestation if left as is

This can cause deterioration of cladding plus wall and roof framing

This also can be the cause for the foundations of the dwelling to swell, and cracking within the walls and footings

Answer **Damaged / Dented downpipes**

There are downpipes that need to be repaired within this property

Damaged and dented downpipes may lead to excess pooling of water under the subfloor area of the house or deck, pooling water or damp subfloors can draw termites to a property

Downpipes are not costly items to be repaired or replaced, most handy homeowners can replace a downpipe within thirty minutes with supplies from bunnings or a plumbing supplier

Answer **Downpipes not connected**

Not all downpipes are connected to a stormwater system

See a plumber to have connected

This has the potential to cause differential settlement to the footings, cause rising damp and is also conducive to an increased risk of termite infestation

This could lead to being a major defect because of the potential problems relating to excess water within the subfloor

Answer Downpipe rust

There was visible evidence of downpipe rust requiring immediate repairs

Evidence of leaking joins / connections or blocked downpipes may present during periods of rainfall and this can only be assessed during rainfall periods

Any leaks detected will require repair / re-sealing by a plumber

Answer Downpipe joins leaking

The downpipe joins are leaking, have a roofing plumber repair / seal this issue while it's a minor defect

Answer There were downpipes not connected to the stormwater system

Saw cut rock or concrete or garden beds to connect the downpipes to the active stormwater line on site

Answer I saw a missing downpipe within this property

All gutters must be connected to a downpipe, which is connected to the in-ground stormwater line

Answer I saw excessive dampness on the floor / walls / surrounding areas below the roof plumbing (gutters and downpipes)

Further works / investigation is required to address the excessive moisture seen on-site within this property (walls and floors)

Answer There were gutters that are too high to assess and make comment on

Further investigation is required if all gutters conditions are to be reported on

Answer The gutter external corners appear to be aged / weathered / damaged and in need of repair

Answer There were rusted downpipe brackets / astragals

Answer There were rusted gutter brackets / astragals

Answer There were stormwater lines in ground not capped off and debris is able to enter the stormwater line at will

If the stormwater lines are not capped off / sealed it's only a matter of time when an object will fall into these holes and the stormwater line will block up

Sub-question * EAVES / FASCIAS / BARGES *****

Answer Eave and soffit lining, detached / defective

Get a carpenter to repair or replace the eaves / soffit linings.

Answer	<p>Eave and soffit lining, staining / bubbling visible</p> <p>Have a painter re-paint / treat the surfaces to preserve the timber / fibro linings</p> <p>The staining appears to be old and not a recent leak, but the staining is visible</p> <p>Staining can occur due to blocked guttering</p> <p>An assessment by a plumber is advised prior to the painting of the timber or fibro</p>
Answer	<p>Fascia, fungal decay</p> <p>Timber fungal decay evident</p> <p>Have carpenter repair or replace</p>
Answer	<p>Fascia, paint flaking</p> <p>Flaking paint on sections of fascia</p> <p>Sand back and re-paint</p>
Answer	<p>Fascia, cracked / split</p> <p>Fascia can be seen to be cracked / split, this should be replaced or repaired by a carpenter</p>
Answer	<p>Bargeboard, fungal decay</p> <p>Fungal decay seen to be present on the bargeboards</p> <p>Repairs to this area should be undertaken by a carpenter and painter</p>
Answer	<p>Bargeboard, paint flaking</p> <p>Flaking paint evident on bargeboards, this area should be attended to by a painter to ensure longevity of this area</p>
Answer	<p>Damaged / defective eaves linings</p> <p>The eaves / soffit linings are in place but they are in need of repair due to the defects seen within the eaves linings</p>
Answer	<p>Moisture damage to the eaves / soffit linings board</p> <p>Moisture / discolouration of the eaves linings, source of moisture should be determined and repaired and then the lining board should be repaired / made good</p>
Sub-question	*** GENERAL ***
Answer	<p>The roof is BAD condition, repairs are required</p> <p>I did not inspect the entire roof elevations due to height restrictions and WH&S regulations for a single inspector working at heights</p>
Answer	Refer To Supplementary Text / Photos / Defect Rating
Defect rating	Second inspection is recommended, as entire roof elevation was not inspected nor reported on.

Part 7: Roof Space

Question ***** S. 15. ROOF VOIDS; WAS THE ROOF VOID ABLE TO BE ENTERED AND ASSESSED / REPORTED ON?

NOTE: All skillion roofs with no roof voids or roofs with no access hatches within the ceiling linings are excluded from this report

Answer Refer To Supplementary Text / Photos / Defect Rating

Photos



Question ***** S. 16. WAS THE ROOF VOID FREE OF DEFECTS?

Sub-question *** ROOF LINING / UNDERSIDE ANSWERS ***

Special Note: I was not able to inspect all aspects of the roof void this property, so my inspection and this written report is not a complete assessment of the conditions of the house roof void - a second inspection is recommended once a clear passage/access is made available, so I can reinspect and report on all elements within the roof void.

I have made comments of the roof void in part only ! my comments cover the areas that I could see only, it doesn't mean the comments made are of the entire roof void and hence why I recommend a 2nd inspection once good clear access is made available to all aspects and all timber members within the roof void.

Answer I am unable to comment on the timber members beneath the skillion roof, The skillion roof has no roof void as the timber members are lined and the roof framing is concealed.

Answer ** FRAMING ANSWERS ***

Answer I am unable to inspect and comment on the timber members within the skillion roof, as the timber members are concealed by the plaster lining board applied to the underside of the rafters

Sub-question *** ROOF FRAMING MODIFICATIONS ***

Answer No comment, as the roof framing within the roof void is concealed due to the plasterboard linings applied to the roof void

Sub-question	*** SARKING ***
Answer	Unable to comment on the entire roof framing / roof void due to the property having a flat roof and the rafters are lined to the underside of the rafters / battens
Sub-question	*** INSULATION ANSWERS ***
Answer	Unable to comment due to the roof void being lined and all the roof framing is concealed
Sub-question	*** WERE ANY OTHER DEFECTS SEEN WITHIN THE ROOF SPACE? ***
Answer	I am unable to comment on the skillion roof area within this property, as the timber framing is concealed / lined to the underside of the skillion roof and the roof framing members are concealed and not commented on
Answer	<p>I did not access the ENTIRE roof void of this property today while I was on site</p> <p>I have already commented on the sighted defects within the earlier questions about the roof void, there are no more defects / areas of concern that i would like to add to this report about the roof</p> <p>Note; I am not commenting on all aspects of the roof void due to restricted access within the roof void and I am not supplying you a full and comprehensive assessment of the roof void due to the restricted access within the roof void</p> <p>If I have commented on a portion of the roof void, I am not commenting nor covering the entire roof void of this property and / or its adjoining structures within the site</p> <p>I, therefore, give you no assurance of the entire condition of the roof void of this property as I did not inspect nor report on the entire roof</p>
Answer	Refer To Supplementary Text / Photos / Defect Rating
Location	<p>The manhole / roof void area was not inspected due to the agent telling me I could not use my ladder even though the manhole was located on the top floor and in a storeroom.</p> <p>Any comments made are assumptions based on inspecting the internal elevations of the rooms and offices with no access into the roof void.</p>
Defect Rating	Second inspection is recommended, as the roof void was not inspected in full

Part 8: Sub Floor Space

Question	***** S. 17. SUBFLOOR ACCESS: DID YOU HAVE FULL & UNOBSTRUCTED ACCESS TO THE SUBFLOOR AREA WITHIN THIS PROPERTY?
Answer	<p>No, Because the subfloor / TIMBER FLOOR had no access points available at the time of my inspection</p> <p>A second inspection is recommended once access is provided</p> <p>(Gaining access to the subfloor is important if the house is built with a timber floor structure)</p>
Answer	No, Because this property has a CONCRETE FLOOR / Slab on ground with no access available to the underside of the concrete floor, as the property was built with a reinforced concrete slab on ground

The subfloor of this property is excluded from this inspection and report due to no access / due to slab on ground construction, there is a slab bearing upon the soil / foundation of the site

Answer Refer To Supplementary Text / Photos / Defect Rating

Location The building is a slab-on-ground building.

The roof void and ceiling void on the ground floor were not accessible because the listing agent present on the day said I could not use my step ladder, therefore the first floor, floor / ceiling void on the ground floor and first floor and first floor, floor joists / structure could not be inspected nor reported on.

Defect Rating A second inspection is recommended once access is provided (Subfloor access is very important for any property with a timber floor structure)

Question ***** S. 18. WAS THE SUBFLOOR AREA FREE OF DEFECTS?

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating A second inspection is recommend once access is provided.

Part 9: The Site

Question ***** S. 20. GENERAL EXTERNAL OBSERVATIONS

(Retaining walls- Concrete & Pavement conditions

Sub-question *** CONCRETE PATHWAYS / DRIVEWAYS / DECKS / VERANDAS, ARE ALL AREAS FREE OF SUBSIDENCE, UNDAMAGED AND SAFE TO WALK UPON? ***

Answer Missing pavers

Sub-question *** ARE EXPANSION JOINTS PRESENT IN THE EXTERNAL WALLS? ***

Answer No, expansion joints were not seen within the external walls

Sub-question *** DO BOUNDARY FENCES APPEAR TO BE STRUCTURALLY SOUND AND UNDAMAGED? ***

Answer Metal Fencing leaning over and defective

The metal framed and clad fence needs minor works carried out to the fence to have it in a more acceptable condition

Sub-question *** DOES RAINWATER DRAIN EFFECTIVELY AWAY FROM THE BUILDINGS? ***

Answer There is water pooling on the pavement and external walls / supporting member of the building - water is pooling on the pavement and wall / footing junction

Paving or paths along the sides of the property require amending to fall away from the walls of the dwelling.

See a plumber or landscaper to assess. Further investigation required.

Answer There is Natural Ground / Soil / Lawns found hard up against the buildings - Water is able to pond against the building

Ground and/or lawn along the sides of the property require amending to fall away from the walls of the dwelling.

See a plumber or landscaper to assess. Further investigation required.

Answer **There are Garden beds installed against the external elevations of the property**

Having garden beds installed close to or hard up against a building / your property is not ideal

Most homeowners love the idea of having soft landscaping next to a hard structure but in fact, it attracts moisture to the foundations, footings and subfloor areas of the property

All moisture should be directed away from a building/supporting wall/member and subfloor areas

It is common to find masonry walls within subfloor areas to be affected by dampness/ moisture, with no building defect to be found but the moisture within the subfloor walls, this can be due to the owners watering their gardens which are in close proximity to the subfloor walls or adjacent foundations of a property

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Major Defect

Question *****S. 22. VISUAL ASBESTOS ASSESSMENT

NOTE: This assessment is over and above the standard Building & Pest Report

Answer **We were not commissioned to do a asbestos assessment on this property**

Should you want a visual asbestos assessment on this property call our office on 91815989 between 7am and 9 pm to commission this additional service, our fee is \$475 plus GST

Should you want a loose-fill asbestos inspection of the insulation within the roof void, call our office and we can do that inspection reports within 48 hours, we will reinspect the property and we will bring three samples that are taken from the roof insulation to a asbestos lab for the results, our fee is \$620 plus GST

Part 10: Areas Inspected / Obstructions Within the Building Inspection

Question ***** S. 36. Areas Inspected Were:

This tells you the areas that were able to be inspected in FULL or in part,

If we inspect an area in part (WE STATE PARTIAL) of an area was unable to be inspected, it is deemed as the entire area has not been inspected, nor reported on nor included within this report, nor can it be relied upon by the reader when making a decision to buy the property as we could not assess the entire area, therefore if an area is noted to be inspected in part, that area / room / section as a whole is excluded from our assessment and our report and we offer no liability for that area)

Answer **Interior of Building**

I have Inspected the internal spaces within the property.

Answer **Exterior of Building**

I have inspected the external elevations of the building.

Answer PARTIAL Roof Exterior

I have only inspected the roof in part - Partial Roof Exterior.

*We have not been able to inspect this entire area due to limited access at the time of the inspection

*This means that this entire area of the property is not assessed nor reported on nor covered by our office in relation to the condition of this aspect of the building, this means that this portion of the property and our report cannot be relied upon by the reader of this report when making a decision on purchasing this property

*If these areas needs to be assessed, reported on and relied upon by the reader or potential buyer of this property, a second inspection needs to be commissioned prior to making a decision to purchase this property.

Answer No Subfloor

Answer No Roof Void

Answer - The Entire Site (Within 30m of the main structure)

I have inspected the entire external site within 30m of the main structure.

*All other objects/structures or assets outside the 30m radius is not inspected nor assessed nor reported on within this report.

Answer The Electrical Trade was not inspected

Answer The Plumbing trade was not inspected

Question *** S. 37. Areas NOT INSPECTED were:**

Answer *Roof plumbing (Gutters, Valley irons, Flashings, Downpipes, Box gutters) Due to height restrictions / safety / WHS

Unable to physically access upper roof cladding due to height/safety.

Answer *Roof cladding (roof tiles/sheets) above 2.7m in height

Unable to physically access upper roof cladding due to height/safety.

Answer Roof void - Roof framing / Rafters, as the roof void was concealed / lined with plasterboard concealing the roof timber framing members and the underside of the roof linings

Answer *Roof void due to skillion / flat roof construction

No roof void was found due to the skillion / flat roof on site.

Answer Roof void due to the access hatch had furniture / personal belongings located directly below the roof void access door

I could not place my ladder under the access hatch without having to move the vendors belongings

Answer *Concrete Slab & footings; Slab edges not exposed and un- inspect-able due to the way the property was built

Unable to inspect the concrete slab and footings

The concrete slab edges were not exposed on the perimeter of dwelling and floor coverings.

Sub-question *******SPECIAL NOTE: Should the areas noted in this section as "not inspected" or "not inspected in full" be altered or access provided a second inspection is recommended so I can advise on the conditions within those areas**

Answer Refer To Supplementary Text / Photos / Defect Rating

Question ***** S. 38. Areas to which access should be gained, or fully gained, are:

Answer Roof void

Answer Sub floor

Answer Roof top elevation

Upper storey roof cladding was not accessed or walked on due to safe and reasonable access.

Answer Internal storage/furniture

Internally, some walls, skirting boards, floor linings and the like were not visible due to storage/furniture.

Answer Internal cupboards/storage areas

Internally, cupboards also had storage items that restricted full visibility of areas

Answer Internal stairwells and storage spaces

Answer Single story Roof linings & Roof plumbing above 2.7m off the Finished Ground Floor Level

We only inspect roofs that are 2.7m in height off the ground floor as we use a 3.6m ladder.

We inspect up to 3.6m high gutters, as we can lean our ladder up against the gutters to inspect them as we don't need to walk over the roof to inspect the gutters

This is all in line with WH&S guidelines for a single inspector

Answer Upper 1st story roof cladding and plumbing

Upper storey roof cladding was not accessed or walked on due to safe and reasonable access.

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Must be inspected Urgently

Part 11: Summary of Defects and Safety Issues

Question ***** S. 39. Incidence of Major Defects compared to similar buildings

NOTE : A Major defect is:
Any structural cracks,
Any moisture entry or leaks
Any Pest infestation,
Any Compliance issues relating to safety

OR factors that could lead to these issues if a defect is not addressed soon

Answer **HIGH - A considerable quantity of Major defects were found within this property**

Many defects were seen within this property compared to the average property that I inspect

Question ***** S. 40. Incidence of Minor Defects compared to similar buildings

Answer **Typical**

The number of minor defects found was normal for a property of this age.

Safety Hazards in this Building:

No Safety Hazards Identified

Major Defects in this Building:

Question D. 3. INTERNAL & EXTERNAL DOORS & WINDOWS, ARE THEY DEFECT FREE?

Sub-question *** INTERNAL DOORS ANSWERS ***

Answer **Moisture damage present within the internal elevation of the external doors**

External door(s) are damaged due to not being adequately protected from the weather

Answer **One or more doors bind on the frame**

One or more doors bind on the door frame

The doors require minor adjustment and once rectified the doors are to be appropriately protected
(Painted or Stained, so they are sealed)

Answer **Minor maintenance required to the internal doors**

Minor maintenance required to internal doors and door jamb so the doors close and lock correctly and as originally installed and designed

Answer **Door hardware requires adjustment**

Door hardware requires adjustments so they operate as designed.

Answer **Door jambs have moisture damage seen at the base of the door jambs**

A flood test should be commissioned to see where the moisture is coming in from.

Answer **The doors have minor moisture seen within the doors leafs entering the property via the external doors**

Answer	Missing door hardware Minor defect, easy and inexpensive fix
Answer	The doors need to be sanded back and repainted
Sub-question	*** EXTERNAL DOORS & WINDOWS ANSWERS (METAL FRAMED) ***
Answer	One or more window / door units require maintenance One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors
Answer	Not all windows / doors were able to be opened and tested on the day of the inspection All doors and windows need maintenance and regular upkeep Prior to purchasing this property I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair
Sub-question	*** EXTERNAL DOORS & WINDOWS ANSWERS (TIMBER FRAMED) ***
Answer	One or more window / door units have cracked glass One or more windows have cracked glass panes which should be removed and replaced
Answer	There were windows / doors that require minor maintenance and repairs One or more windows require maintenance carried out to maintain the operation and function of the external windows / doors
Answer	Do not operate freely or lock up the property The windows and doors do not operate freely and a carpenter needs to work on the door / window suites so the property can be locked up
Answer	Evidence of minor rotting Evidence of minor rotting found within the external doors / windows Repairs and re-painting are required by a painting contractor to preserve the timber members
Answer	Evidence of major rotting Timber fungal decay evident within the external door and window suites. A carpenter needs to replace the rotten timber and have the new and existing timber re-painted by a painter
Answer	Window hardware (sash / spiral balance) requires replacing or repairs Sash / spiral balance requires replacing Sash / spiral balance is broken and requires replacement
Answer	Sash cords require replacing Sash cords require replacing Sash cords are broken or in a poor state of repair and require replacing.
Answer	There was hardware missing from the door / window units

Window hardware is missing

Answer Window hardware damaged / not operating

Window hardware is damaged or not operating as designed.

Answer One or more windows are painted shut

One or more windows are painted shut

Answer There is weather damage evident to external door(s)

External door(s) are damaged due to not being adequately protected from the elements.

Answer Weather damage evident to external window(s)

The external window(s) are damaged due to not being adequately protected from the elements

Answer The external windows / doors / architrave and mouldings need to be maintained with paint / stain to preserve them from further deterioration

All external timber windows and doors should be re-painted or stained, as the existing timber units are slightly deteriorated and in need of re-coat / repair, Minor defect

Answer The windows need to be prepared and re-painted

Answer The doors need to be sanded back / prepped & re-painted

Answer Not all external doors and windows were able to be opened / inspected / tested at the time of my inspection

All doors and windows need maintenance and regular upkeep

Prior to purchasing this property, I suggest that you have the vendor / agent open all doors and windows for your assessment / consideration as they can become expensive to repair

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Major Defect

Question *** S. 20. GENERAL EXTERNAL OBSERVATIONS**

(Retaining walls- Concrete & Pavement conditions

Sub-question * CONCRETE PATHWAYS / DRIVEWAYS / DECKS / VERANDAS, ARE ALL AREAS FREE OF SUBSIDENCE, UNDAMAGED AND SAFE TO WALK UPON? *****

Answer Missing pavers

Sub-question * ARE EXPANSION JOINTS PRESENT IN THE EXTERNAL WALLS? *****

Answer No, expansion joints were not seen within the external walls

Sub-question * DO BOUNDARY FENCES APPEAR TO BE STRUCTURALLY SOUND AND UNDAMAGED? *****

Answer Metal Fencing leaning over and defective

The metal framed and clad fence needs minor works carried out to the fence to have it in a more acceptable condition

Sub-question * DOES RAINWATER DRAIN EFFECTIVELY AWAY FROM THE BUILDINGS? *****

Answer **There is water pooling on the pavement and external walls / supporting member of the building - water is pooling on the pavement and wall / footing junction**

Paving or paths along the sides of the property require amending to fall away from the walls of the dwelling.

See a plumber or landscaper to assess. Further investigation required.

Answer **There is Natural Ground / Soil / Lawns found hard up against the buildings - Water is able to pond against the building**

Ground and/or lawn along the sides of the property require amending to fall away from the walls of the dwelling.

See a plumber or landscaper to assess. Further investigation required.

Answer **There are Garden beds installed against the external elevations of the property**

Having garden beds installed close to or hard up against a building / your property is not ideal

Most homeowners love the idea of having soft landscaping next to a hard structure but in fact, it attracts moisture to the foundations, footings and subfloor areas of the property

All moisture should be directed away from a building/supporting wall/member and subfloor areas

It is common to find masonry walls within subfloor areas to be affected by dampness/ moisture, with no building defect to be found but the moisture within the subfloor walls, this can be due to the owners watering their gardens which are in close proximity to the subfloor walls or adjacent foundations of a property

Answer **Refer To Supplementary Text / Photos / Defect Rating**

Defect Rating Major Defect

Minor and Other Defects in this Building:

Question **D. 4. IS THE KITCHEN FREE OF DEFECTS?**

Sub-question ***** JOINERY DOOR & DRAWER ANSWERS *****

Answer **Cupboard doors / drawers misaligned**

Cupboard doors / drawers are misaligned requiring adjustment or replacement of the hardware.

Answer **Drawers swollen and binding**

Drawers are swollen due to exposure to excess moisture and are binding, modifications are to be made if able, or item to be replaced

Answer **Door and / or drawer hardware loose**

Door and / or drawer hardware is loose and requiring adjustment

Answer **Door and / or drawer hardware missing**

Door and / or drawer hardware is missing, replacement item required to match existing

Answer **The kitchen is old and in need of repair / replacement**

Sub-question ***** BENCHTOP ANSWERS *****

Answer	Edge lifting around sink Edge lifting around sink which may allow water entry to the cupboards below
Answer	General delamination due to age General delamination of benchtop due to the age of the kitchen fit-out
Answer	Silicone to the benchtop and splashback defective Silicone to the benchtop and splashback junction is missing or incomplete requiring re-applying
Answer	Laminate benchtop chipped Laminate benchtop can be seen to be chipped
Sub-question	*** CUPBOARDS ANSWERS ***
Answer	Undersink cabinet spillage damaged Cabinet under the sink can be seen to be damaged due to products stored within this space being spilled
Sub-question	*** SINK & TAPWARE ANSWERS ***
Answer	Yes, the sink & tapware are free of defects The kitchen sink and taps were in acceptable condition at the time of inspection
Sub-question	*** WATER SUPPLY ANSWERS ***
Answer	Yes, the water supply operated freely The water supply to the kitchen operated and drained freely at the time of inspection
Sub-question	*** WATER SUPPLY / LEAKS, ANSWERS ***
Answer	Yes, water drained freely at the time of inspection The water drains freely as at the time of my inspection
Sub-question	*** SPLASHBACK ANSWERS ***
Answer	Cracked tiles Tile(s) in the splashback can be seen to be cracked, requiring replacement
Answer	Drummy tiles Tile splashback is drummy, this is due to inadequate or poorly applied adhesive To rectify this issue, the tiles would be required to be removed and re-applied with the correct and appropriate amount of adhesive
Answer	Loose / missing grout The grout between the tiles can be seen to be loose or missing The loose grout would be required to be removed with new grout applied to the affected area, this may result in a colour variance, to alleviate this, the entire area would need to be re-grouted
Answer	Gaps in sealant

The sealant can be seen to be incomplete, requiring sealant to be re-applied to the affected area.

Answer Refer To Supplementary Text / Photos / Defect Rating

Defect Rating Minor Defect

Part 12: Other Inspections & Reports Required

Question ***** S. 41. Recommendations for further inspections

Answer Pest Inspection and site treatment covering the Sub floor and roof voids + all external elevations of the property

Answer Electrician to carry out a power and light circuit test

Answer Electrician to test and certify the smoke detectors

Answer Roof plumber to inspect the roof linings and roof plumbing due to the roof not being inspected within this report

Answer Carpenter to inspect the sub floor area once access is provided

Answer Carpenter to inspect the roof void once access is provided

Answer Builder to carry out a flood test to confirm if the wet rooms are tanked meeting current building regulations

Answer Glazier to inspect and replace any broken glass

Answer Structural engineer to inspect all structural cracks within this property

Answer Loose fill asbestos report be commissioned prior to purchasing this property

Answer All Appliances

Answer All Air Conditioner units and ducting

Answer Gas / Electrical / Oil water heaters & fixtures

Answer Plumber to check all Water supply, Sewer and stormwater lines, Gas supply and all the fixtures and fittings attached to the gas and water lines and all compliance matters of the plumbing and gas trades

Answer Electrician to check all wiring and fixtures and fittings and compliance matter

Answer Council chambers for any outstanding compliance matters of the existing built form / structure and fitout, or the private certifier if works have been done under their control / approval to see if there are any outstanding and ongoing issues within the property

Answer Refer To Supplementary Text / Photos / Defect Rating

Question ***** S. 42. Overall condition and conclusions

Answer This property is in need of "Significant repairs" to be carried out to it prior to you moving in

Answer I saw moisture in the internal elevations which should be assessed and comment on prior to buying this home

Answer

There is minor moisture issues within this property, which is typical for the age and type of construction of this property

Answer There are **LARGE / CONSIDERABLE CRACKS** cracks within the structure that needs an engineer to assess and comment on prior to you purchasing this property

Answer There is a number of **MEDIUM CRACKS** within the core fabric of the building that should be addressed within next few months

Answer There are **MINOR CRACKS** within this property, they should be monitored but I don't expect any development within them any time soon.

Answer There are a **NUMBER OF COMPLIANCE** issues that should be addressed for the safety of the occupants or their visitor

Answer A plumber needs to be engaged to make good / repair the **WATER SUPPLY / DRAINAGE** within this property.

Answer Work is required towards the **ROOF PLUMBING** within this property.

Answer There is considerable work required to the **ELECTRICAL TRADE** within this property

Answer I saw no current **PEST INSPECTION** sticker within the electrical meter box or within the kitchen cupboard doors, confirming the house has been inspected and treated in the past 12 months, it is best to have this house inspected and sprayed / treated every 6-9 months

Answer I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available

Answer I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing

Answer This property has **A LOT OF WOODROT** in the timber members within the property

Answer This home needs **CONSIDERABLE** work carried out to have it back to an acceptable standard

Answer This property needs to be **RENOVATED / UPDATED**

Sub-question *******SPECIAL NOTES :**

You must consider this before buying this house The agent seems to be trying to have the entire building inspected / assessed and reported on

Question ******* S. 43 Overall Condition Summary**

Excellent - True MasterPiece 10/10 - Rating

Very Good Condition 9 out of 10 - Rating

Good Condition 8 out of 10 - Rating

Average Condition 7 out of 10 - Rating

Fair Condition 6 out of 10 - Rating

Below Normal Condition 5 out of 10 - Rating

Property needs to be renovated 4 out of 10 - Rating

Bad Condition

4 out of 10 - Rating

Major Problems

Be very Careful before buying this property 0-2 out of 10

Answer **Below Normal Standards 5 out of 10**

This property needs work !!!!!

Part 13: Cracking to Building Members

Question ***** S. 23. STRUCTURAL ASSESSMENT

Are there any major or significant cracks within the CORE BUILDING FABRIC:

Note: Building members are core members to the dwellings (not cosmetic or finish linings as these are easily repaired and no advice is required by an engineer)

Answer **Yes**

If cracks have been identified in the table below, then A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase.

Regardless of the appearance of the cracks a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Obtaining information regarding:

- (a) The nature of the foundation material on which the building is resting,
- (b) The design of the footings,
- (c) The site landscape,
- (d) The history of the cracks and
- (e) Carrying out an invasive inspection,

all fall outside the scope of this Pre Purchase Inspection. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking and any remedial work needed.

Cracks that are small in width and length on the day of the inspection may have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work been carried out.

Areas Inspected	Location	Description of the Cracking Defect at the time of the Inspection.
Concrete Slabs		
Suspended Concrete Slabs		
Masonry Walls	Right and rear elevations of the external and internal walls have major cracks within the brick walls Left side external wall have minor and medium size cracks but major moisture issues in the external and internal walls	Structural cracks that must be monitored and repaired once the hydraulic system within this building is upgraded

Piers		
Retaining Walls		
Other Areas		

IMPORTANT: All Recommendations made in the above Inspection Findings or elsewhere in this Report should be carried out/or considered in your decision process, prior to purchase.

Part 14: Conclusion & Summary

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007.

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The incidence of Major Defects in this Residential Building as compared with similar Buildings is considered:

Many defects were seen within this property compared to the average property that I inspect

The incidence of Minor Defects in this Residential Building as compared with similar Buildings is considered:

The number of minor defects found was normal for a property of this age.

The overall condition of this residential Dwelling in the context of its age, type and general expectations of similar properties is:

**Below Normal Standards 5 out of 10
This property needs work !!!!!**

Overall Condition Comments:

This property is in need of "Significant repairs" to be carried out to it prior to you moving in, I saw moisture in the internal elevations which should be assessed and comment on prior to buying this home, There is minor moisture issues within this property, which is typical for the age and type of construction of this property, There are LARGE / CONSIDERABLE CRACKS cracks within the structure that needs an engineer to assess and comment on prior to you purchasing this property, There is a number of MEDIUM CRACKS within the core fabric of the building that should be addressed within next few months, There are MINOR CRACKS within this property, they should be monitored but I don't expect any development within them any time soon., There are a NUMBER OF COMPLIANCE issues that should be addressed for the safety of the occupants or their visitor, A plumber needs to be engaged to make good / repair the WATER SUPPLY / DRAINAGE within this property., Work is required towards the ROOF PLUMBING within this property., There is considerable work required to the ELECTRICAL TRADE within this property, I saw no current PEST INSPECTION sticker within the electrical meter box or within the kitchen cupboard doors, confirming the house has been inspected and treated in the past 12 months, it is best to have this house inspected and sprayed / treated every 6-9 months, I did not access the entire sub floor area, a pest inspection and treatment and timber framing inspection and report is recommended when access is available, I could not access the roof void in full today I recommend a pest contractor and or a carpenter inspect the timber framing, This property has A LOT OF WOODROT in the timber members within the property, This home needs CONSIDERABLE work carried out to have it back to an acceptable standard, This property needs to be RENOVATED / UPDATED,

*****SPECIAL NOTES :

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in this Report and anything in this summary, the information in the report shall override that in this summary.

We take this opportunity to thank you for your instructions and we look forward to working with you again.



Emilio Calandra
0411 880 588
The Property Inspectors

Definitions

High: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Low: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Major Defect: Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect: Any Defect other than what is described as a major defect.

Accessible area: is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Part 15: Pests

Termites

Question ***** S. 148. WERE ACTIVE (LIVE) TERMITES FOUND?

Sub-question *** WERE ACTIVE (LIVE) TERMITES FOUND? ***

Answer No, None were visible at the time of my inspection

No visible evidence of active termites found at the time of inspection in the areas that were able to be inspected and noted within this report as inspected

Sub-question *** IS A TERMITE MANAGEMENT PROPOSAL RECOMMENDED? ***

Answer Yes, but we were not engaged to prepare proposal

Although we are not engaged to provide a termite management proposal, a full written proposal is strongly recommended.

Please contact a licensed pest control operator for further advice.

This recommendation should be implemented as a matter of urgency and prior to you buying this property

A full written subterranean termite management proposal is recommended in accordance with Australian Standards

Sub-question *** WAS EVIDENCE OF TERMITE DAMAGE FOUND? ***

Answer No

I have claimed that I have not seen any timber damage due to current termite activity within this property

NOTE:

If the inspector claims he has not seen any termite activity within the areas that he has inspected, this does not mean that there are no termites within the property

The inspector does not lift the roof insulation batts, nor can he inspect all timber junctions and timber members within the roof voids, sub floor areas or within the wall cavities due to limited access and limited time available to inspect this property for this pre-purchase inspection and report.

In some cases the vendors belongings can conceal current and past termite activity.

We strongly recommend a pest contractor assess and chemically treat the property prior to being purchased, this will give you a twelve month warranty over the property and it will give you a firm security over the property prior to you investing in it

Sub-question *** WAS EVIDENCE OF TIMBER DAMAGE VISIBLE? ***

Answer No, I did not see any timber damage

I have claimed that I have not seen any timber damage due to current termite activity within this property

NOTE:

If the inspector claims he has not seen any termite activity within the areas that he has inspected, this does not mean that there are no termites within the property

The inspector does not lift the roof insulation batts, nor can he inspect all timber junctions and timber members within the roof voids, sub floor areas or within the wall cavities due to limited access and limited time available to inspect this property for this pre-purchase inspection and report.

In some cases the vendors belongings can conceal current and past termite activity.

We strongly recommend a pest contractor assess and chemically treat the property prior to being purchased, this will give you a twelve month warranty over the property and it will give you a firm security over the property prior to you investing in it

Sub-question ***** WAS EVIDENCE OF A POSSIBLE PREVIOUS TERMITE MANAGEMENT PROGRAM NOTED? *****

Answer **No, I saw no evidence in support that this property has been inspected on a regular basis by a pest contractor for termites**

I saw no evidence in support that this property has been inspected on a regular basis by a pest contractor for termites

This property must be inspected and treated for past and or present pest infestations and this must be done prior to you buying this property

Sub-question ***** WAS THE ENTIRE SUBFLOOR INSPECTED? *****

Answer **No, The subfloor was not inspected in any way**

Second inspection recommended once clear access is created to the subfloor and within the subfloor

The subfloor was not inspected nor reported on in any way

A second inspection covering the subfloor is recommended before buying this property

Sub-question ***** DO YOU RECOMMEND A SECOND INSPECTION BY A SPECIALIZED PEST CONTRACTOR? *****

Answer **Yes, I recommend a specialized pest contractor be engaged to carry out an inspection of this property**

Sub-question ***** NEXT INSPECTION RECOMMENDED IN *****

Answer **I recommend that you have this property inspected by a PEST specialist before you purchase this property as there is a high risk of pest infestation**

This property is an extremely high-risk property for ongoing termite issues

Answer **Refer to Supplementary text / images**

Location I asked the manager of the business how long he worked in this location and he said a few years

I asked him had he engaged a pest contractor to inspect and treat the property and he said no and he said it's a head office thing but he said he doesn't remember seeing a inspection being done on any of his working days

Defect Ratings Further Investigation

Chemical Delignification / Wood Borers / Fungal Decay / Conducive Conditions

Question ***** S. 156. WAS EVIDENCE OF CHEMICAL DELIGNIFICATION / WOOD BORERS / FUNGAL DECAY / CONDUCTIVE CONDITIONS FOUND?

Sub-question *****WAS EVIDENCE OF CHEMICAL DELIGNIFICATION FOUND? ***

Answer No, But I did not access the roof void

No Chemical Delignification was found

In the past this type of timber damage has been referred to using many different terms, Hairy Timber or Defibrosis.

In the early 1990's it was agreed that the true description of this type of timber deterioration is Chemical Delignification.

This term describes the deterioration in its true form, the lignin in timber is damaged by airborne chemicals.

Lignin is the natural glue that holds the fibres of wood together and is therefore a major component of any wood. When the lignin is broken down or damaged the fibres then detach from each other creating a visible hairy surface to a section of the timber, as the delignification progresses the structure of the timber section is weakened and therefore chemical delignification is regarded as a structural pest of timber in service.

Chemical Delignification damage is most commonly found in timber sections used as roof tile battens of buildings that are located in close proximity to the sea, large chemical factories or major arterial roads that have heavy traffic.

Buildings close to the sea are exposed to salts brought to land by wind and sea breezes and dwellings within five kilometers of the sea are often found to have chemical delignification in their roof tile battens.

Buildings surrounding chemical factories that have chemical delignification would indicate that the air quality where this building is located is influenced by the chemical production process and/or use of chemicals by the adjoining industry. The cost of repair of the chemical delignification damage would need to be taken into account when this damage is found but it also would be prudent to consider the possibility that the air quality in the area may be affected by chemicals and therefore if any health hazards are present that could cause long term damage to an occupants health.

Buildings found to have chemical delignification that are in close proximity to a major arterial road would often be affected by fumes from vehicles using the adjoining roads.

Chemical delignification generally will not occur to timbers in service that are sealed, painted or well oiled as the lignin is protected from airborne chemical substances.

Therefore as with most timber damage if we can remove the cause of the damage or protect the timber from exposure to the cause of damage the damage will cease. If the damage is initiating, the timber section can be painted or oiled to stop further deterioration, where the chemical delignification damage is advanced then replacement of the damaged timbers is needed.

When chemical delignification is found in roof tile battens or rafters then it is recommended not to have persons walk on the roof as collapse may occur and therefore a fall could cause bodily injury.

Chemical delignification is more common in species of softwood timbers although certain

species of softwood are more prone to damage than others.

Chemical delignification may only occur after timbers have been exposed to airborne substances for a relatively long period of time, it is not common to find chemical delignification in buildings that are younger than ten years.

The most common timber species that is used in buildings in the Sydney area that we find damaged is the Douglas fir otherwise known as Oregon. Douglas fir is an imported timber species that originates in Northern America and Canada.

Sub-question *** WAS EVIDENCE OF WOOD BORERS FOUND? *****

Answer No borers were sighted today but I did not gain access to the subfloor area This home must be treated by a pest contractor prior to purchasing this property if you want to be certain that there are no active borers within the house, garden and surrounding structures within the boundary of this home

This property must be treated by a pest contractor prior to purchasing, if you want to be certain that there are no active borers within the property, garden and surrounding structures within the boundary

Sub-question *** WAS EVIDENCE OF FUNGAL DECAY, WET OR DRY ROT FOUND? *****

Answer Yes within the external doors

Answer Yes within the Internal doors

Answer Yes within the internal windows

Answer Yes within the external windows

Answer Yes within the timber fascia

Answer Yes within the timber barge boards

Answer Yes within the roof trimmings / timber members

Sub-question *** IS THE SUBFLOOR WELL VENTILATED *****

Answer Not required as the property has a slab on ground

This property is built with a slab on ground with no ventilation required beneath the slab / floor

Sub-question *** WAS EVIDENCE OF EXCESSIVE MOISTURE FOUND? *****

Answer Yes, water pooling against structure

Water is pooling on the soil adjacent to the building structure.

This maybe due to a drainage problem or some other factor.

This should be rectified as moist soil conditions are highly conducive to timber pest attack, ideally contact a plumber for their opinion.

Answer Yes, damp soil abutting structure

Damp soil conditions abutting the building structure.

This maybe due to a drainage problem or some other factor.

This should be rectified as moist soil conditions are highly conducive to timber pest attack.

Answer Yes, faulty stormwater pipe(s)

The faulty storm water downpipe(s) should be repaired so that it does not cause excessive moisture
Excessive moisture conditions are ideal for timber pest attack.

Answer **Yes, faulty guttering**

The faulty guttering should be repaired so it does not cause excessive moisture
Excessive moisture conditions are ideal for timber pest attack.

Answer **Yes, possible water leak**

High moisture readings were located with a specialized moisture meter.
This can be an indicator of a free moisture source (water leak) or possible timber pest activity.
In all cases where a high moisture level is located we STRONGLY RECOMMEND further investigations be carried out to determine the moisture source.
Further investigations may include an invasive inspection.
If an invasive inspection is needed, the vendors written permission will be required prior to further investigations being carried out.
Invasive inspections are carried out at an extra cost.

Answer **Yes, poor drainage**

Contact a licensed plumber to determine if the drainage is sufficient
Due to the slope of the land towards the structure, this may cause drainage issues in rainfall.

Answer **Yes, moisture within the masonry walls**

This should be checked and made good to keep the health of the properties structure and occupants in line with standard guidelines within the building code of Australia

Sub-question ******* WAS FINISHED GROUND / PAVING LEVEL ABOVE INTERNAL FLOORS OR OBSTRUCTING WEEP HOLES / AIR VENTS?**

Answer **Yes, garden beds abutting structure**

Garden beds close to or abutting the external walls of the structure and have breached any previous barriers.
These can allow concealed termite entry into the structure, we recommend the removal of these gardens and termite treatment to rectify.

Answer **Yes, concealed weep holes**

Concealed weep holes, where weep holes are partly or fully covered by such things as paths, patios, pavers, lawn, soil, gardens, etc, they may allow concealed termite entry into the structure.
Weep holes are installed in external brickwork to allow water penetrating the wall to leak back outside the structure.
The weep holes have been either partly or fully covered.
Apart from preventing water from escaping, this may allow concealed termite entry into the external walls (this may already be the case).
The termites may not be detected until they cause damage either to the inside of the structure or to the roof void timbers.
You should obtain written details of any termite barrier that may have been installed to prevent the concealed entry point.
If no such barrier has been installed or the expected life span of the barrier has passed or is about to pass, then you should arrange for the weep holes to be exposed or a termite barrier to be installed.

Sub-question ******* WAS EVIDENCE OF BRIDGING OR BREACHING FOUND? *****

Answer

Maybe !!!! There was soil hard up against the external walls of the property and above the internal finished floor levels

If there is no waterproofing nor adequate drainage in this area dividing the pourous material / water pooling against the walls, water could enter the cavity and eventually it could build up within the cavity and enter the internal elevations of the home causing major damage / and a termite haven

or

If there is waterproofing and or drainage and it failes over time, it can and will cause water ingress into the cavity and or property and or internal elevations of the property, causing mould and creating a ideal breeding ground for termites

Be aware of this before you choose to buy the property and perhaps a hydraulic assessmnet should be carried out prior to purchasing this property and if ok it should always be monitored and tested over time and manianted in working order to limit liability

Answer Yes, there are concrete slabs against the external walls of the property

Concrete slabs/paths placed against the external walls and slabs of the structure increase the chances that pest / termites can enter the cavities of the building via concealed openings within the external walls and floor junctions.

We recommend the lowering of these slabs/paths to 75 millimetres below the slab edge or the use of a chemical termiticide treatment as an alternative method if no treatments were made, or if the life expectancy of the treatment has expired or nearly expired.

Answer Yes, The brickwork is cracked

Typical cracks and/or joins in brickwork can allow termites to pass through.

Answer Yes, Due to NON CAVITY WALLS that allow water into the subfloor and walls/cavities, and it also allows for concealed termite entry into the property

The external walls with no cavities will allow moisture and termites to travel from the external elevations into the internal wall/cavities and within the subfloor of the property

This defect could result in minor and major traces of moisture within the walls and within the subfloor area, which will also allow for concealed termite entry points into the property

This should be rectified asap to reduce the issue and the possibility of water ingress and to lower the risk of concealed termite entry into the property

Sub-question *** WAS EVIDENCE OF ANY OTHER CONDITION CONDUCTIVE TO TIMBER PEST ATTACK FOUND? *****

Answer Yes, Air Conditioning against the wall

The A/C compressor unit is up against the external walls and severely restricted the inspection, these should be removed as they may be concealing timber pest activity and/or damage.

The AC compressor condensation pipe should be installed to drain directly into the stormwater line, so no pooling of water is seen on the floor which will over time attract pest activity

No comment is made where access was not achieved.

Obstructions Within the Pest Inspection

Question ***** S. 165. AREAS " NOT " INSPECTED IN FULL

WHICH OF THE FOLLOWING AREAS WERE NOT ABLE TO BE INSPECTED

Answer Roof void due to NO ACCESS

We could not gain access to the roof void and we therefore exclude the entire roof void from our assessment and this report

Answer Subfloor areas due to NO ACCESS

We could not gain access to the subfloor area

We therefore exclude the subfloor areas from our assessment and this report (Building & Pest)

Answer External roof linings and roof plumbing due to LIMITED ACCESS

Question ***** S. 166. AREAS INSPECTED IN FULL

(IF AN AREA IS NOT INSPECTED AND NOT STATED BELOW, THAT AREA IS EXCLUDED FROM OUR INSPECTION AND THIS REPORT AND OUR LIABILITY, IF AN AREA WAS INSPECTED IN PART AND NOT IN FULL IT IS DEEMED AS EXCLUDED FROM OUR REPORT AND OUR LIABILITY) ***

Answer Interior (Internal walls & floors)

Answer Exterior (Walls & floors, plus pathways)

Answer Roof void was NOT INSPECTED (Further investigation / second inspection is required)

Answer Subfloor area was NOT INSPECTED (Further investigation is required and recommended)

Question ***** S 167. ARE THERE ANY AREAS AND / OR SECTIONS OF THE BUILDING TO WHICH ACCESS SHOULD BE GAINED?

Answer Yes, subfloor areas

Answer Yes, roof voids

Summary

Question ***** S. 168. Were LIVE TERMITES sighted within your inspection today ?

Answer No, read the report in full

Question ***** S. 169. Do you see any past DAMAGE / TERMITE WORKINGS within this property ?

Answer No, read the report in full

Question ***** S. 170. Do you see any BORER'S or damage due to borer activity within this property ?

Answer No, read the report in full

Question *****S.171 Was there any WOOD ROT / FUNGI found within the STRUCTURAL TIMBER members ?

Answer No, subject to what i could see on the day of my inspection

Question ***** S. 171. Was there any WOOD ROT / FUNGI found within the NON-STRUCTURAL TIMBER timber members?

Answer Yes, read the report in full

Question ***** S. 172. Are FURTHER INSPECTIONS Recommended?

Answer Yes, read the report in full

Question ***** S.173. Were any MAJOR ISSUES IDENTIFIED WITHIN THE PEST REPORT (STRUCTURAL ISSUES OR POSSIBLE PEST INFESTATION ISSUES) THAT SHOULD BE CONSIDERED BEFORE YOU BUY THIS PROPERTY?

Answer Yes, mid range issues / typical for a property of this age, read the report in full

Question ***** S. 174. At the time of the inspection, THE DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION WAS CONSIDERED TO BE:

Answer High to extremely high

Recommendations

Question ***** S. 175. Do you recommend a SUBTERRANEAN TERMITE TREATMENT PROGRAM?

Answer Yes

Question ***** S. 176. Do you recommend that FUTURE INSPECTIONS BE CARRIED OUT, and if so at what intervals?

Answer Half-yearly

Question ***** S. 177. Do you recommend that a SEPARATE / MORE INVASIVE INSPECTION BE CARRIED OUT ?

Answer Yes



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