

Pre-Lease Condition Report For The Property At:

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229 Brisbane Water Drive Point Clare NSW 2250



4th May 2022

Prepared by:
The Property Inspectors
Emilio Calandra

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1. Introduction

The Property Inspectors Pty Ltd has prepared this report in accordance with the brief supplied to our office, to assess and prepare a condition report for the currently operating nursery located at 229 Brisbane Water Drive Point Clare NSW 2250.

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2. Purpose of the Inspection and report

The purpose of this report is to record the condition of this property for structural inefficiencies, cracks, large or minor, within the current built form internal & external.

The inspection of the above was carried out on the 4/05/2022 by the undersigned Emilio Calandra.

3. Scope of Works

A photographic record of our observations is included in this report.

This photograph report should be made available to all parties, where major blemishes in the building are identified and recorded prior to the commencement of the lease.

This report can be used to assess responsibility, should damage occur, caused during the tenancy.

4. Descriptions

The building is a commercial building consisting of storerooms, retail stores, kitchen, bathrooms and outdoor hardstand and nursery fit out.

The building is estimated to be more than 70 years old.

The structure is built with a concrete and timber floor and the walls are built using 230mm brick walls, 270mm external cavity brick walls and a single 110mm brick for the internal walls and timber stud walls internally.

The roof is a pitched roof with flat metal deck roofing.

Appendix A

229 Brisbane Water Drive Point Clare NSW 2250

Condition Report with supporting photographs





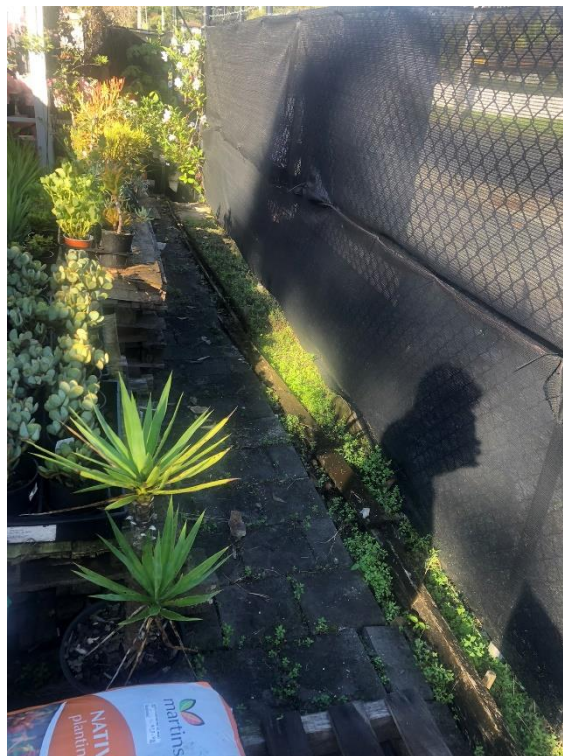
Fallen soffit linings.

Wood rot found within the external doors and windows, together with chipped timber windows.





Wood rot within the windowsill, architrave and window unit.
Cracked concrete pathways and leaning metal fence line.





Missing window storm moulds.
Damaged wire fencing.





Damaged, cracked and defective fibro and possible asbestos external wall linings.
Damaged, cracked and defective gutters and downpipes.





Mould and moisture damage within the concrete slab and external fibro / asbestos wall linings.
Cracked and damaged fibro / possible asbestos wall linings.





Cracked asbestos / fibro wall linings.





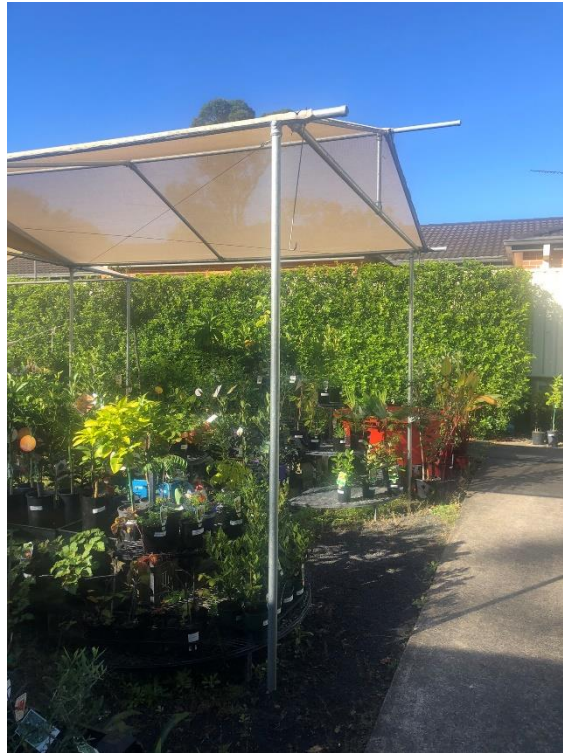
Cracked asbestos / fibro wall linings.





Cracked asbestos / fibro wall linings.
Damaged and leaning steel structure with lightweight canopy.





Damaged and leaning steel structure with lightweight canopy.
Cracked and damaged fibro / asbestos wall linings.





Cracked, damaged wall linings which have been partially repaired in the past.
Water ingress within the building form various locations can be seen.





Cracked, damaged and partially repaired fibro / asbestos wall linings.





Stormwater system draining onto the floor, water damage and moisture seen within the external walls.





Cracked and damaged wall linings, mould and moisture within the external wall linings.





Damaged trimwork and cover panels to the external wall linings.





Cracked, damaged and missing fibro / asbestos wall linings and cover panels.





Mould and moisture within the external fibro / asbestos wall linings, together with major wood rot within the timber members that support the structure of the building.





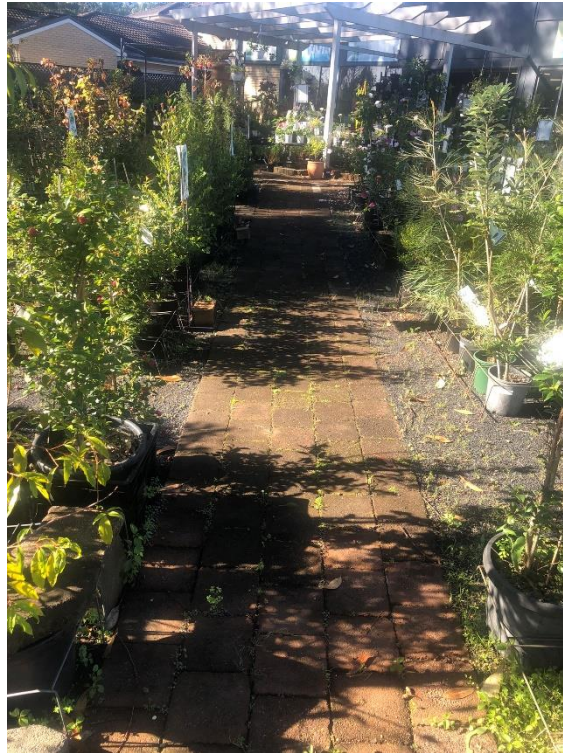
Dilapidated garden beds and pathways and excess mould and moisture seen within the surrounding pathways and wall linings / walls of the main building.





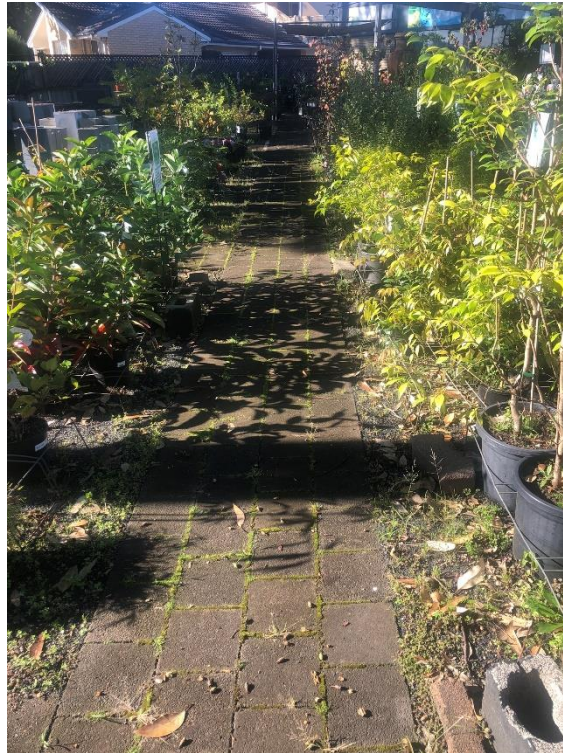
Collapsed lattice, together with damaged fibro wall and fence linings.
Subsided pavers and vegetation within the floor pavers.





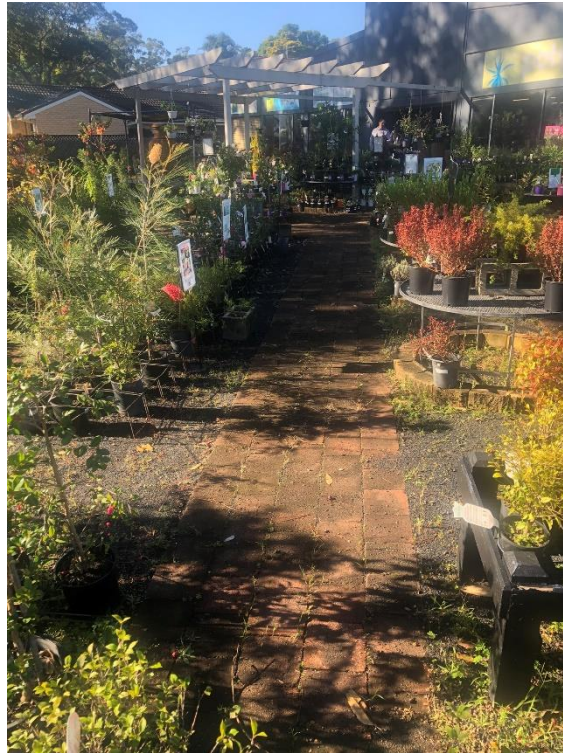
Subsided pavers and vegetation within the floor pavers.



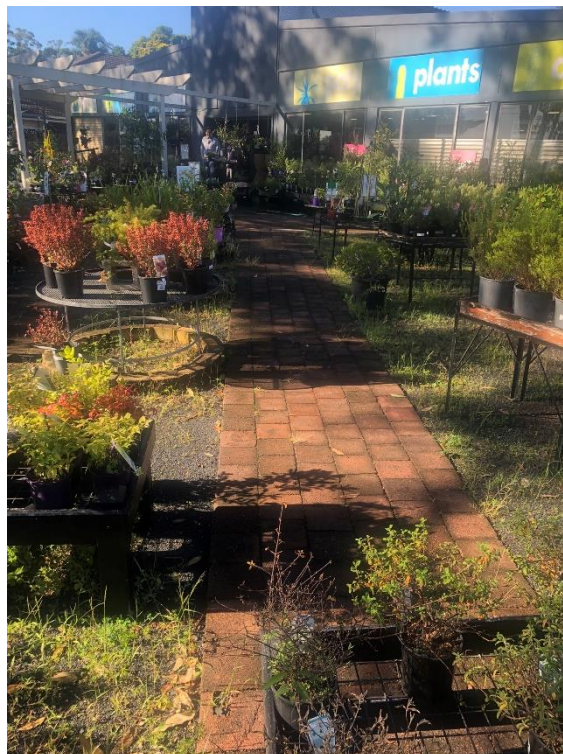


Subsided pavers and vegetation within the floor pavers.



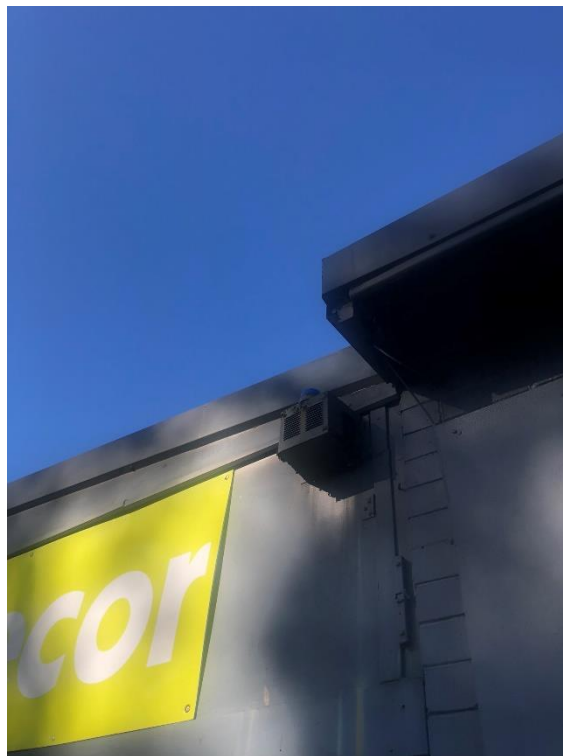


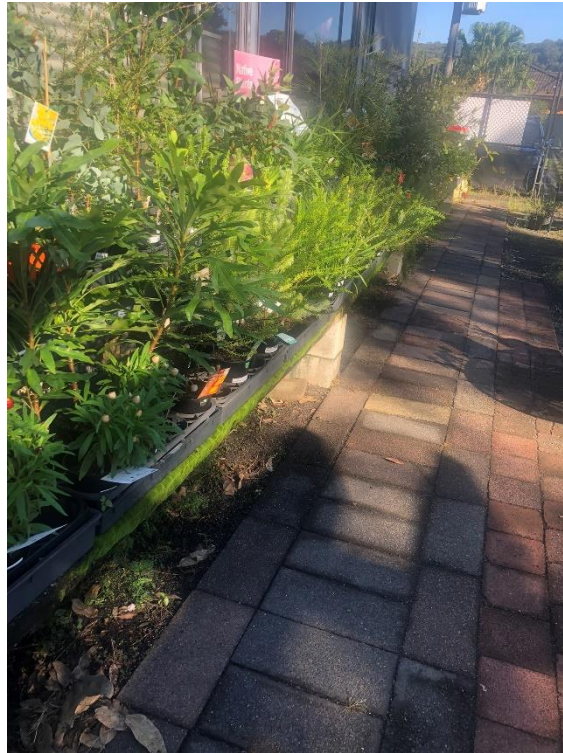
Subsided pavers and vegetation within the floor pavers.





Subsided pavers and vegetation within the floor pavers.
Cracked and damaged wall linings, disengaged timber fascia boards and metal roof cappings.





Subsided pavers and elevated shelves, sagging and damaged.



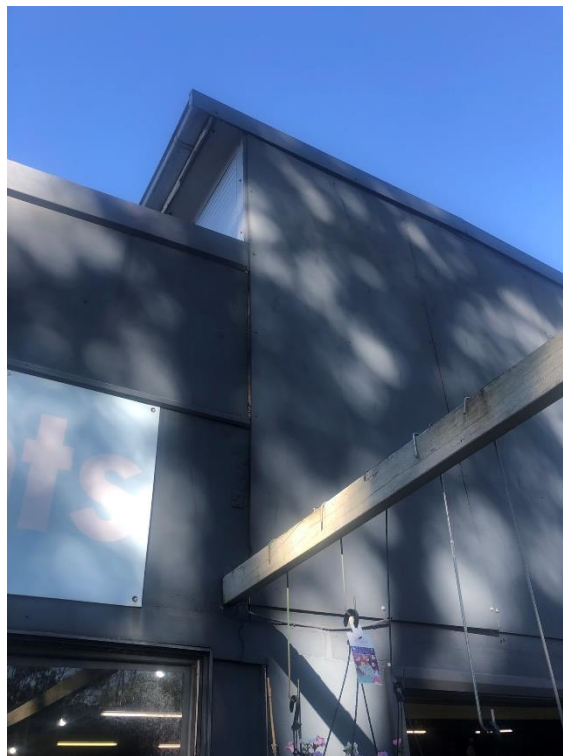


Cracked and damaged fibro / asbestos wall linings.





Cracked and damaged fibro / asbestos wall linings above and surrounding the external windows and within the external walls.





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Cracked and damaged fibro / asbestos wall linings above and surrounding the external windows and within the external walls.

There is excessive moisture within the internal walls, doors and windows of the storeroom.





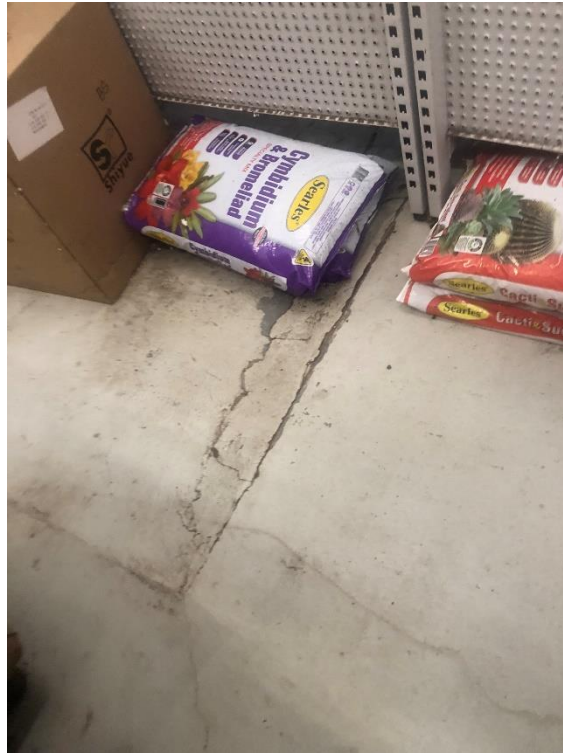
Moisture seen within the internal storeroom walls, ceiling and bulkhead.



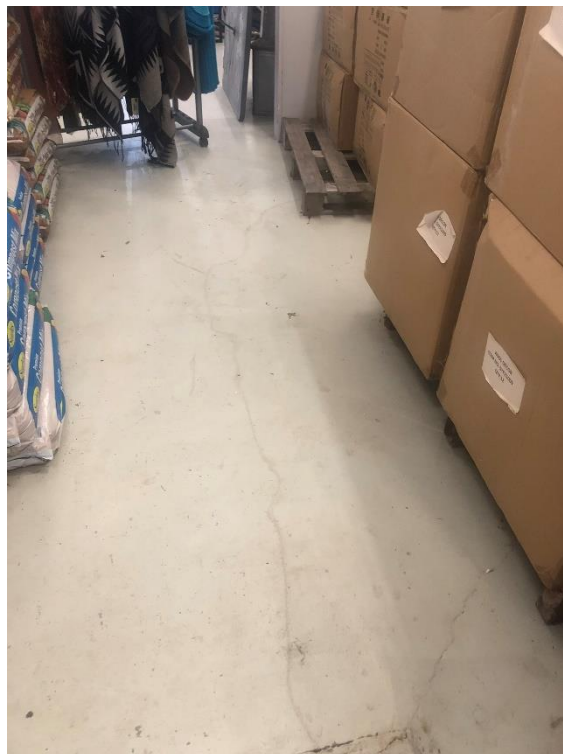


The internal walls and floors within the commercial premises have minor cracks within the concrete floor plus wear and tear within the walls.





Cracked concrete floor within the storeroom / shop.





Water entry within the nursery from the roof sheets and skylight junction.





Broken and dmaaged wall linings within the internal elevation of the nursery.





Broken and dmaaged wall linings within the internal elevation of the nursery.





Not all aspects of the storeroom were able to be inspected due to excess personal belongings, but I could see excessive moisture entering the storeroom via the windows and within the internal elevations of the wall.





Moisture ingress within the internal walls and storeroom.
Electrical meter box does not comply with current regulations, an overhaul of the entire electrical meter box must be carried out immediately.





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Rust seen within the steel colourbond.
Cracks within the suspended floor and walls and within the concrete floors.

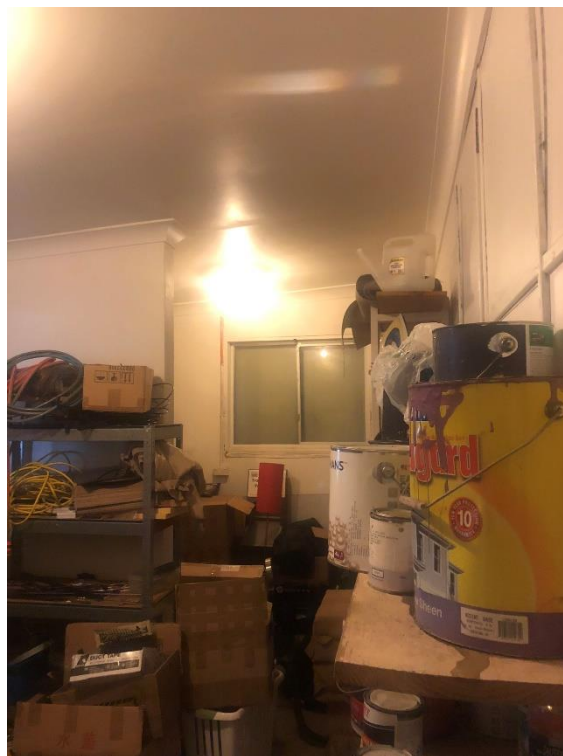








No termite prevention barriers are installed to the subfloor area.
The storeroom was overfilled with personal belongings, no major defects were found, minor hairline cracks were seen within the internal plasterboard ceilings and wall linings.
No access was available to the roof void on the day of my inspection.





The storeroom was overfilled with personal belongings, no major defects were found, minor hairline cracks were seen within the internal plasterboard ceilings and wall linings.
No access was available to the roof void on the day of my inspection.





Moisture within the internal walls, all within 1m of photograph taken.



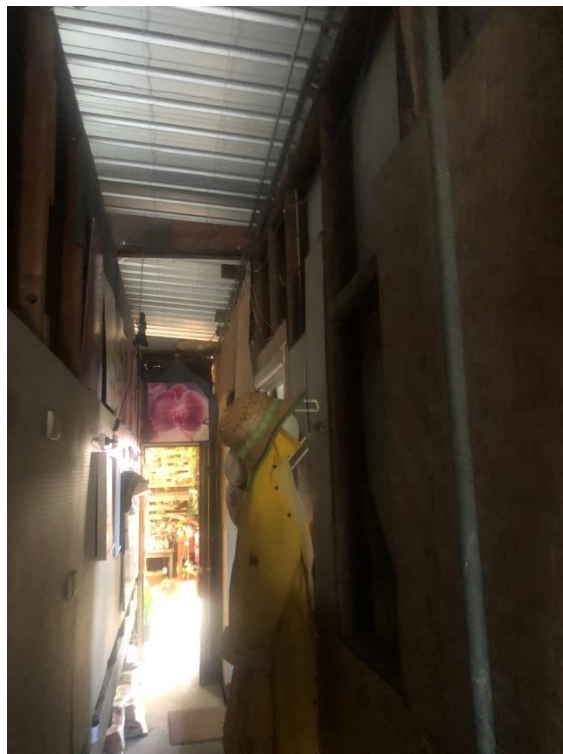


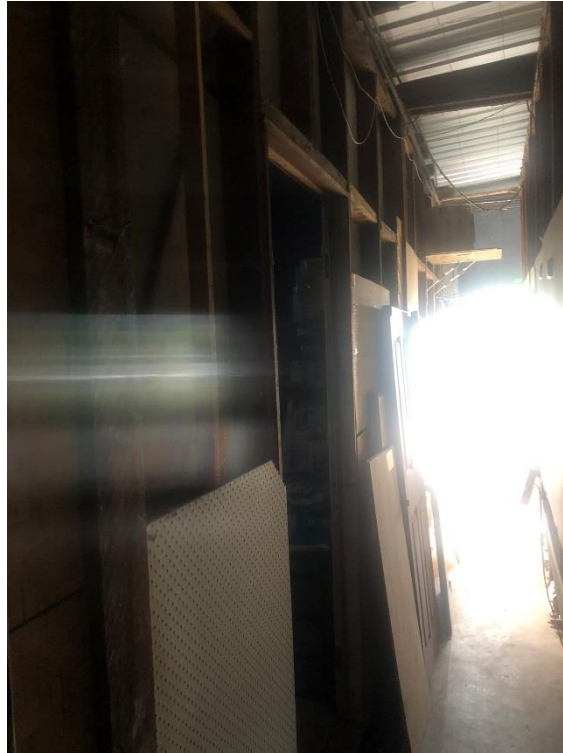
Floors were concealed and covered within the storeroom by the current tenants belongings.
Moisture and dampness seen within the internal masonry walls within the storeroom.





Excess peronal belongings.





Evidence this project is still in consturction and partially complete, as the walls are not all lined and there are leftover building materials seen within this corridor / rooms.





Patched ceilings, incomplete setting and paintwork, together with moisture damage within the plasterboard ceilings and walls.



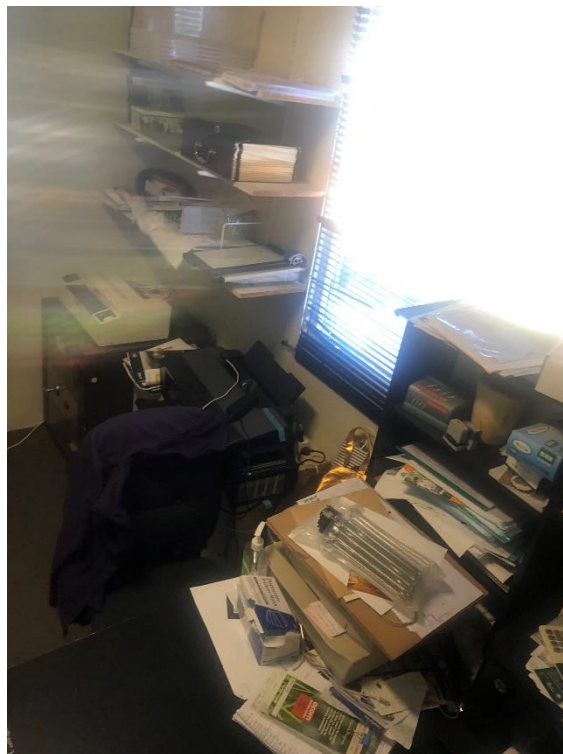


Mould, moisture and dampness within the office walls, cornices and ceiling.





Mould within the internal plasterboard wall linings in various locations within the office.



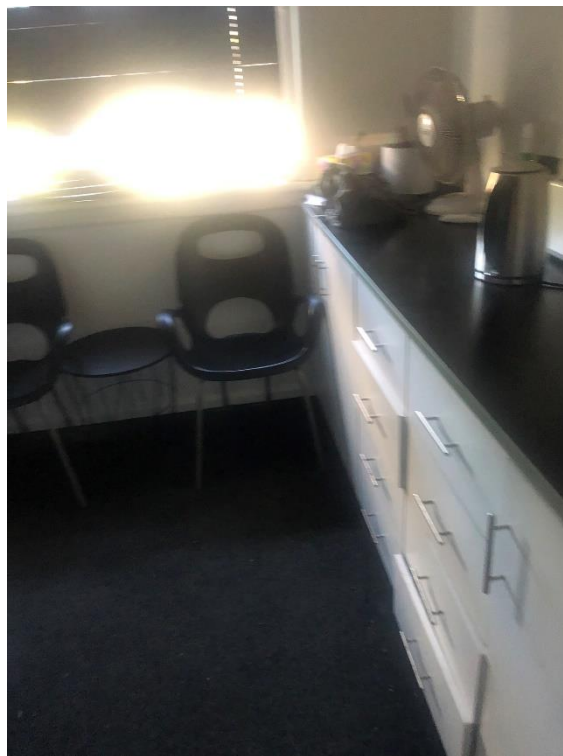


Cracked internal junction of the office wall linings and cornices, together with a significant spring / bounce in the floor beneath the doorway.





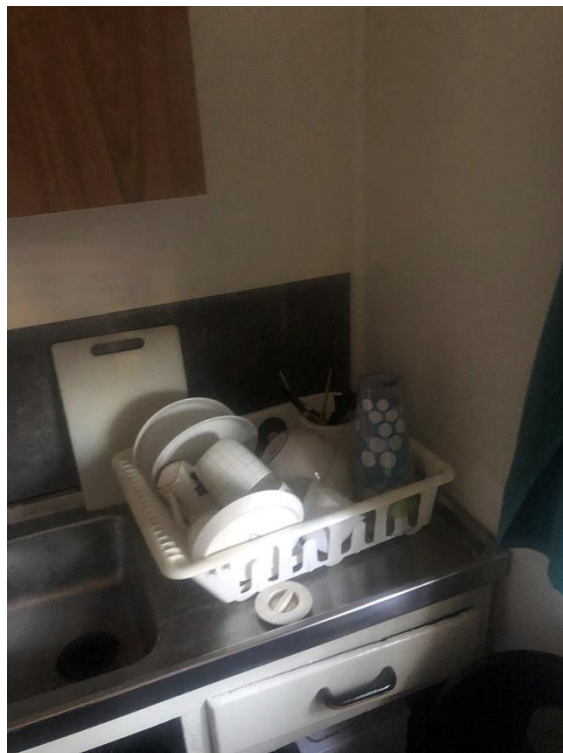
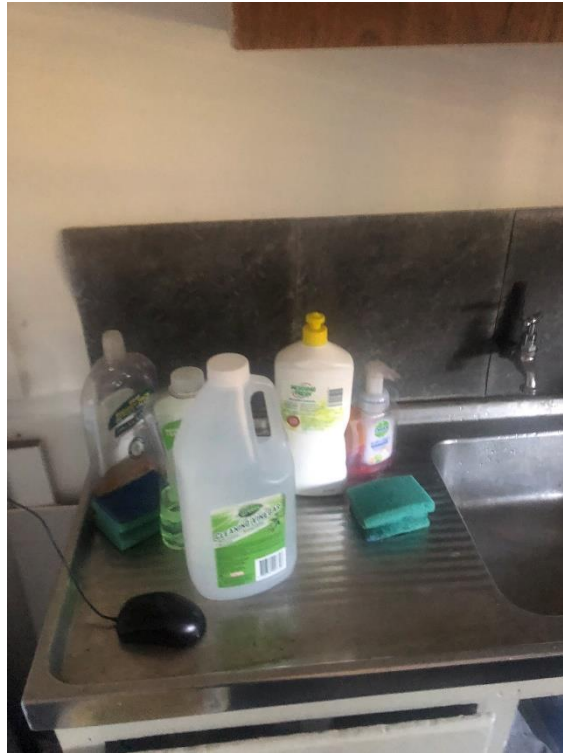
Kitchen joinery in need fo repair, door and drawer fronts and hinged doors strike up against each other.





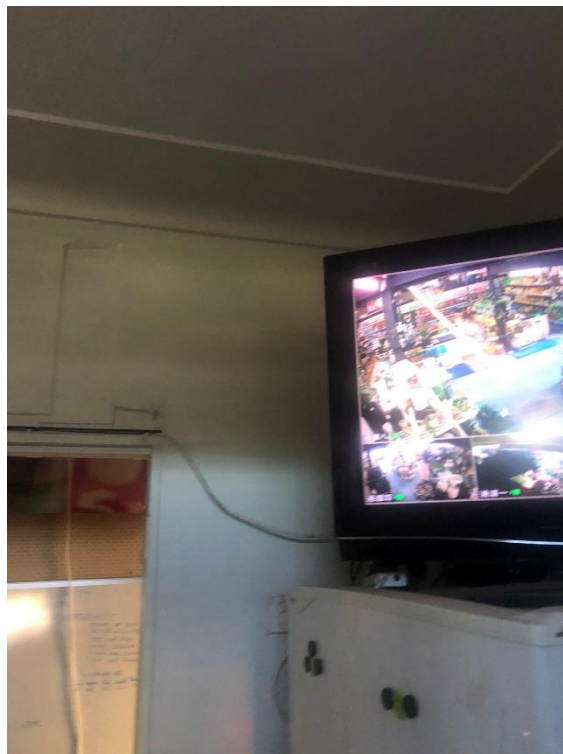
Missing kitchen doors and drawer fronts.

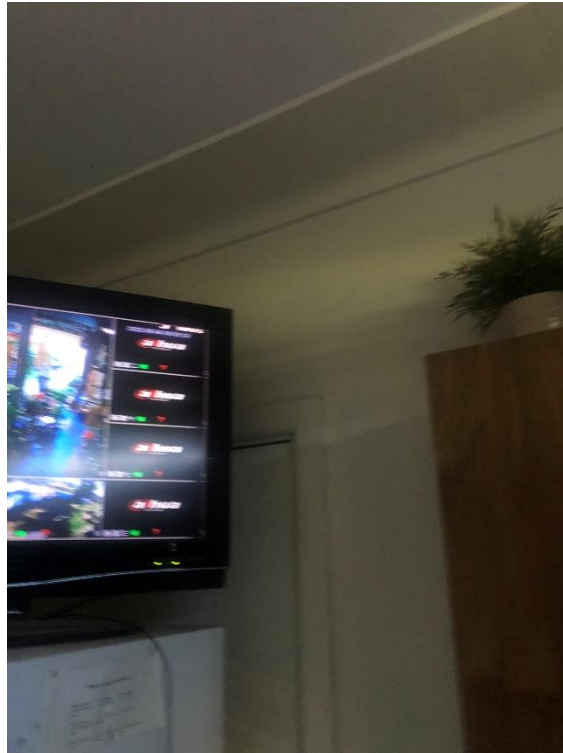






Cracks within the internal wall linings above the door and adjacent to the CCTV camera system.





Cracks within the plasterboard wall linings and the door behind the fridge and CCTV camera system and the door was unable to be opened.







Cracks within the men's bathroom concrete floor.





Mould and moisture within the men's bathroom wall linings and timber framing.
It looks like the men's and women's bathroom area was flooded / submersed under a significant quantity of water for a significant period of time.





Hallway leading to bathroom has mould and moisture present within the wall linings.





Mould and moisture within the wall linings.





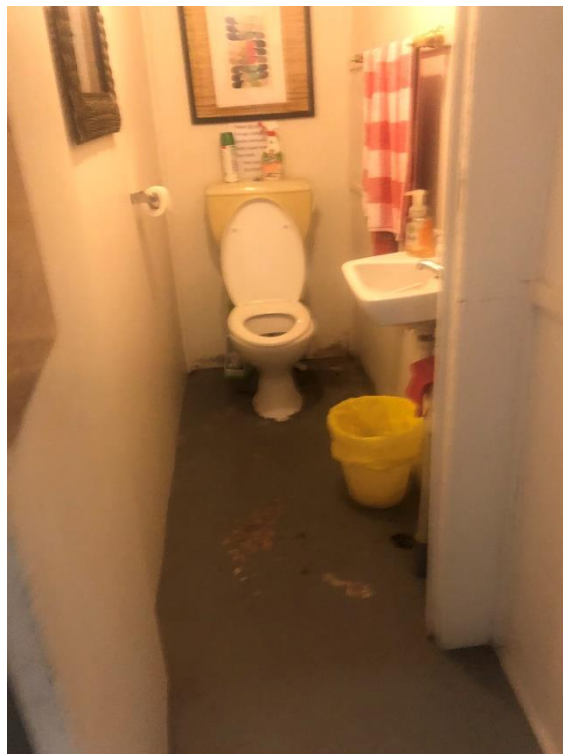


Mould and moisture within the bathroom doors.



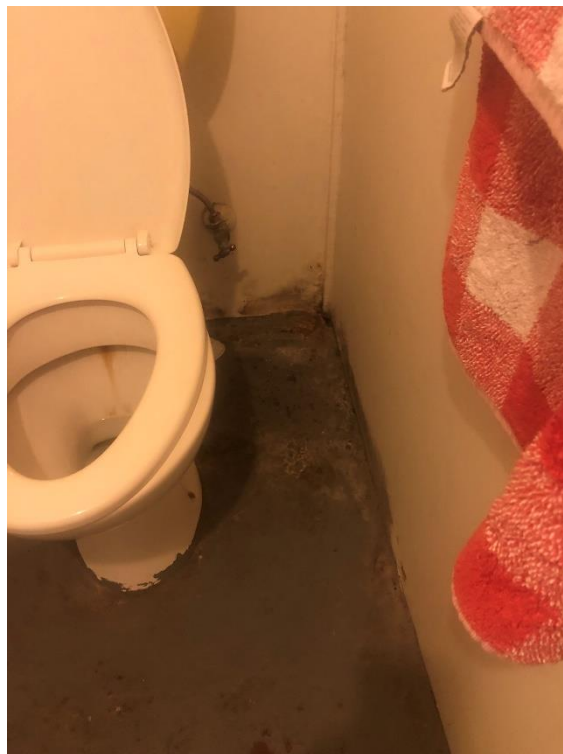


Moisture within the second bathroom.





Mould and moisture within the wall linings and floor junctions.
Cracks within the bathroom floor.





Storeroom appears to have leaks occurring within the metal deck roof sheets and polycarbonate roof sheets.

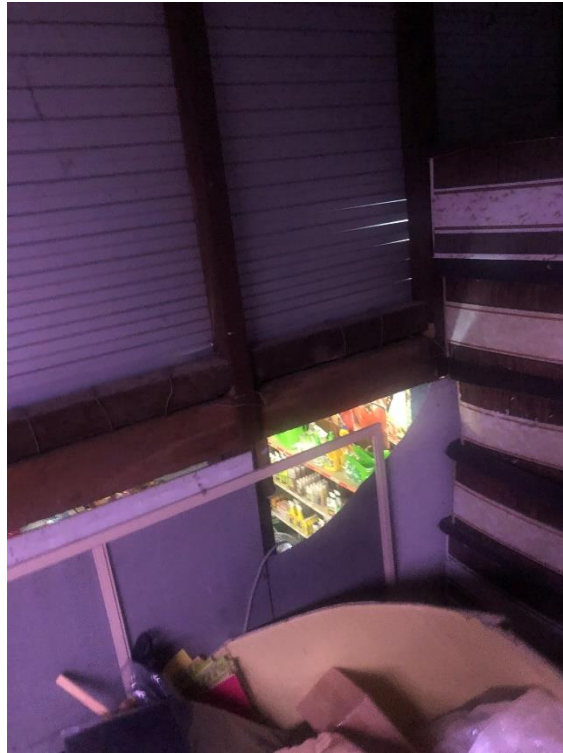






First floor loft / storage area has excess personal belongings which obstructed access and my line of sight, no major defects were seen within these areas, however minimal access was available on the day of my inspection.





First floor loft wall linings are cracked, I assume these linings are made out of asbestos or fibrous based products.











Please feel free to contact me on 0411 880 588 to discuss further.

Kind Regards

THE PROPERTY INSPECTORS PTY LTD

Emilio Calandra

Director



**Master
Builders
Association**
New South Wales

